



FAR EASTSIDE NEIGHBORHOOD PLAN

Department of Metropolitan Development, Division of Planning

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- *(Left Photo) Attendees at the Far EastSide Charrette, held in November 1995, discuss neighborhood issues with Ball State students.*
- *(Right Photo) Children playing at a Far EastSide neighborhood apartment complex picnic.*

Far EastSide Neighborhood Plan
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1 – Neighborhood Children Passing Out Park Flyers



2 – Workers at a Far EastSide Community Day

INTRODUCTION

City staff began preparation of the *Far EastSide Neighborhood Plan* in the fall of 1994. The boundaries of the study area are: Pendleton Pike on the north, German Church Road on the east, 30th Street on the south, and Shadeland Avenue on the west. This area is unique as a neighborhood planning area for several reasons. It is a large area consisting of nine square miles with a population of over 32,000 people, and it is a suburban area that has mostly been developed in the last 30 years. Neighborhood plans in Indianapolis are usually prepared for areas half the size of the Far EastSide and many years older. The Far EastSide neighborhood has shown some of the same characteristics of decline, though, as older portions of Marion County.

The Far EastSide neighborhood was chosen in October of 1994 as one of nine Neighborhood Preservation Initiative (NPI) communities across the United States. This means that it is the focus of a Pew Charitable Trust initiative aimed at determining a means of stabilizing neighborhoods that remain strong but have shown signs of decay. Pew money is matched with local money to assist in this effort. The Indianapolis Foundation is playing a major role in this effort.

Area residents and representatives came together in a series of meetings in the summer of 1994 to prepare the local submission to NPI. A three year goal and activity program aimed at improving the quality of life in the area was developed, based on a needs assessment prepared by the Far EastSide Community Development Council (FESCDC). Areas of concern addressed in these goals and activity statements were: strengthening neighborhood associations, improving the identity of the area, improving recreational and educational opportunities for the area's youth, improving crime prevention, increasing area economic development, and providing more housing opportunity in the community.

The Department of Metropolitan Development, Division of Planning was a participant in the comprehensive, community-building initiative that took place in the neighborhood. Other participants included area residents and businesses, the Purdue Cooperative Extension, Greenleaf Community Center, Health and Hospital Corporation, the Warren and Lawrence Township Administrators, Indianapolis Neighborhood Resource Center, and the Far EastSide Community Development Council.

A significant feature of the Far EastSide planning process was the University Project. The work of four universities added to the information available about the neighborhood. Purdue University surveyed area businesses to determine their opinions of the neighborhood. Indiana University developed an economic profile of the area and made recommendations concerning future economic strategies. Ball State University conducted a design and community development study of the neighborhood and facilitated a program to solicit planning input from area youth. Martin University interviewed area apartment residents to determine their desires for the future of the area.

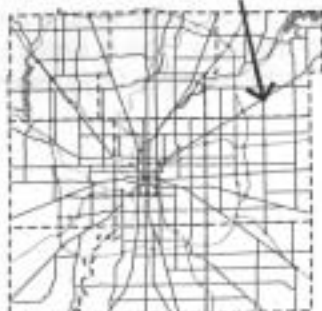
The Division of Planning combined information from all of the various sources to develop the plan. The Goals and Objectives, Projects and Programs, Land Use Plan, and Zoning Plan create a vision for the future of the Far EastSide neighborhood.

FAR EASTSIDE NEIGHBORHOOD PLAN

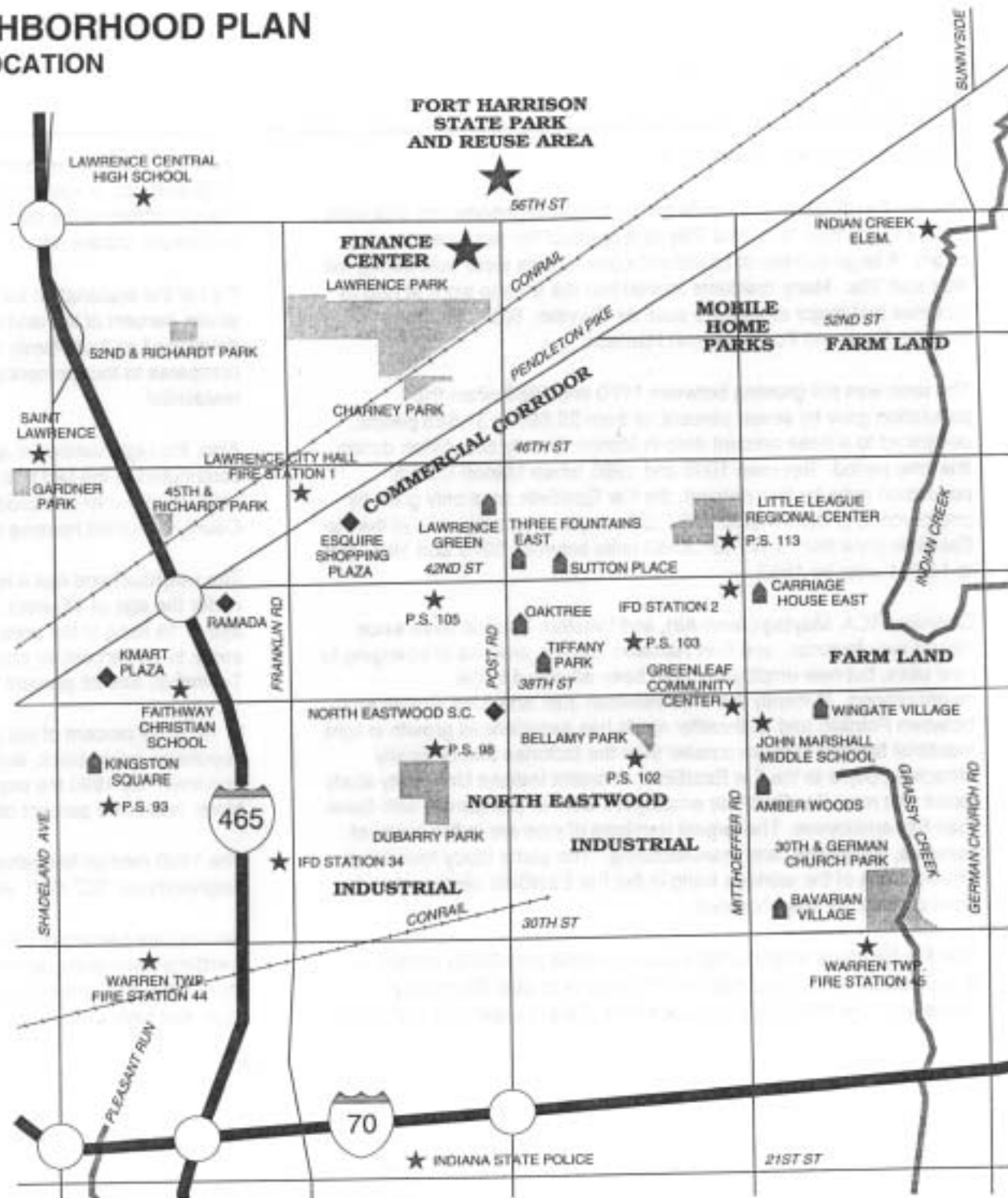
MAP 1: NEIGHBORHOOD LOCATION

Department of Metropolitan Development
Division of Planning
December 18, 1990

FAR EASTSIDE NEIGHBORHOOD



INDIANAPOLIS - MARION COUNTY



BACKGROUND INFORMATION

The Far EastSide area consists of residential neighborhoods that were platted in the '50s, '60s, and '70s as a result of the post-war housing boom. A large number of apartment communities were built during the '60s and '70s. Many residents moved into the area to work at nearby factories and major employers such as Chrysler, RCA, Western Electric, Ford, and Fort Benjamin Harrison.

The area was still growing between 1970 and 1980 when the population grew by seven percent, or from 28,686 to 31,688 people, compared to a three percent drop in Marion County population during this time period. Between 1980 and 1990, when Marion County population grew by four percent, the Far EastSide area only grew by one percent, or from 31,688 to 32,085 people. Housing units in the Far EastSide grew from 9,177 to 13,183 units between 1970 and 1980 and to 13,961 units by 1990.

Chrysler, RCA, Maytag (Jenn-Air), and Western Electric have since closed their factories, and Fort Harrison is in the process of changing to new uses, but new employers have been attracted to the neighborhood. Recently the area between 30th and 33rd streets and between Franklin and Mitthoeffer roads has experienced growth in light industrial facilities that are smaller than the factories that originally attracted people to the Far EastSide. A recent Indiana University study found that most Far EastSide employees work in companies with fewer than fifty employees. The largest numbers of jobs are in the areas of services, retail trade, and manufacturing. The same study found that three-fourths of the workers living in the Far EastSide neighborhood work outside the neighborhood.

The Far EastSide neighborhood has an overall population density of 3,565 people per square mile, which is nearly double the county average of 1,978 people per square mile. This is especially significant

in light of the fact that approximately one-third of the Far EastSide neighborhood is vacant or agricultural land. Indiana University's study found portions of the neighborhood with densities as high as 6,188 people per square mile.

Part of the explanation for the higher density is the fact that seven percent of the land in the Far EastSide neighborhood is developed as multi-family residential, primarily apartments. This compares to four percent of Marion County that is multi-family residential.

Also, the high number of apartment units in the neighborhood probably contributed to the fact that in 1990, 50 percent of the occupied housing units were owner-occupied. This compares to 57 percent of Marion County occupied housing being owner-occupied.

The neighborhood has a higher than average population of people under the age of 18 years. In 1990, there were 9,924 people under the age of 18 living in the area, or 31 percent of the population. This compares to 26 percent for Marion County, 28 percent for Lawrence Township, and 26 percent for Warren Township.

In 1970, 98 percent of the population was white, with one percent of the population being black, and one percent other. A gradual change has occurred. By 1990 the population was 64 percent white, 33 percent black, and three percent other.

The 1990 median household income for the Far EastSide neighborhood, \$27,467, was similar to the county median of \$29,152.

Seventy-six percent of the residents 18 years and older living in the Far EastSide neighborhood had high school diplomas. This is similar to the Marion County statistic that 77 percent of the residents 18 years and older had high school diplomas.

There are several public and semi-public facilities in the Far EastSide area. They include the Greenleaf Community Center, seven public elementary schools, one public middle school, one private elementary school, two fire stations, three public parks, the Little League Central Regional Headquarters, Bel-East Little League, and sixteen churches.

There is much strength in the neighborhood organizations in the area. Registered neighborhood organizations that have boundaries that include the study area are the Lawrence Township Citizen's Council, the Mitthoeffer Business-Neighborhood Association, the Oaklandon Community Development Association, the Warren Township Development Association, the 38th and Shadeland Community Association, the 38th and Franklin Neighborhood Association, the Northeast Civic Association, and the Far EastSide Community Development Council.



3 – Typical Far EastSide Neighborhood Street



4 – Bell's Chapel Church at 42nd and Mitthoeffer Road

PLANNING PROCESS

The population of the Far EastSide neighborhood is very diverse in age, race, and income. Because of this, it was felt that a planning process that offered people a variety of ways to become involved was desirable. Over 260 different people attended approximately 20 committee meetings and numerous subcommittee meetings during the development of the plan. More than 50 people attending the meetings represented agencies or institutions working in the Far EastSide area.

Topics of these meetings included: general neighborhood concerns, crime, youth, transit, capital improvement, land use and zoning, and the development of goals, objectives, projects and programs.

A formal public meeting process does not appeal to all people and evening meetings are not always convenient. Other means of seeking public involvement in the planning process were used in developing the plan. Much of this additional effort was made possible by the fact that the Far EastSide is designated as a Neighborhood Preservation Initiative area. Funds were available to provide on-site staff who became involved in community-building tasks in the neighborhood. These tasks included strengthening neighborhood organizations, promoting Crime Watch groups, preparing newsletters and other informational items, organizing apartment managers and owners, working with area youth, and examining economic development issues. The additional funds also made it possible to hire consultants to provide recommendations on economic and community development in the Far EastSide. The funds made it possible to contract with Purdue and Indiana universities to study the business portion of the community. The work of these two universities, combined with the work in the Far EastSide by Ball State and Martin universities, became known as the "University Project."

Department of Metropolitan Development funds were used to contract with the latter two universities.

Purdue University surveyed area businesses and produced the *Far EastSide Business Survey Report: Location and Operations Issues, Products and Services Offered by Local Firms, and Employment Opportunities and Issues*. The purpose of the Purdue study was to do the following tasks:

- Develop a profile of Far EastSide neighborhood businesses that describes the general characteristics of these businesses.

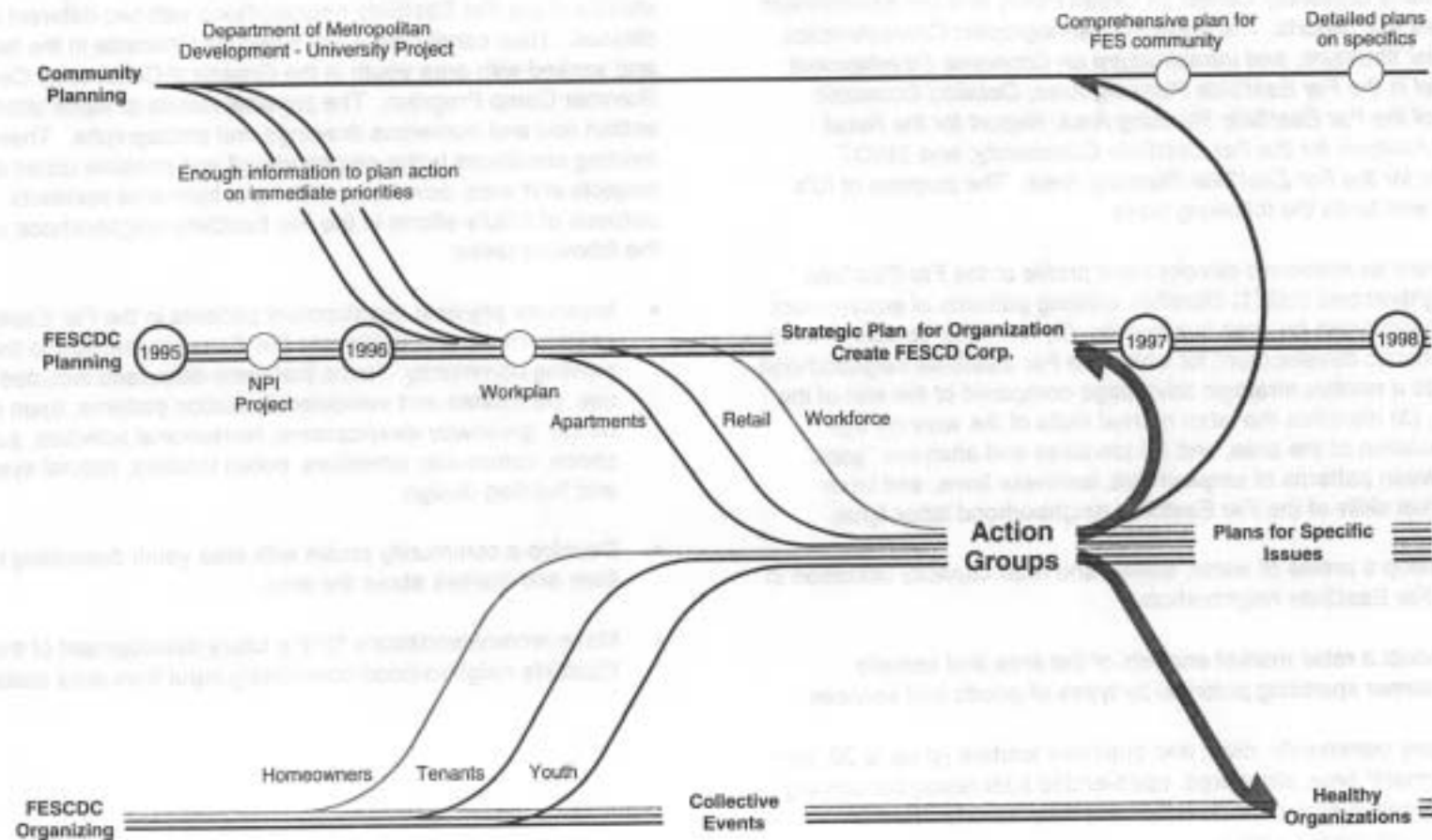
Purdue's profile includes information about area businesses that can be utilized by residents and businesses to identify manufacturing, retail, wholesale, and service business opportunities within the community.

- Develop a business directory that focuses on the employment needs of businesses operating in the Far EastSide neighborhood.

Purdue's directory includes descriptive information about businesses and their anticipated employment needs (including qualifications and wage rates). This information will be utilized by agencies trying to identify local employment opportunities, area job counselors, and individuals seeking employment in the community. The directory also will be a resource in the design and development of training programs to train area residents so they can compete for jobs that are expected to become available within the area.

- Develop a report about business needs and problems associated with operating in the Far EastSide neighborhood that owners and operators of area businesses identify. One purpose of the report

Tracking the Many Activities of FESCDC



From a chart prepared by:
Joseph McNeely, Development Training Institute

was to discuss business owners' suggestions for promoting economic development and their willingness to participate in local development activities.

The Indiana University Center for Urban Policy and the Environment prepared four reports: *The Impact of Demographic Characteristics, Industrial Structure, and Infrastructure on Economic Development Potential in the Far EastSide Planning Area*; *Detailed Economic Profile of the Far EastSide Planning Area*; *Report for the Retail Market Analysis for the Far EastSide Community*; and *SWOT Analysis for the Far EastSide Planning Area*. The purpose of IU's reports was to do the following tasks:

- Create an economic development profile of the Far EastSide neighborhood that (1) identifies existing patterns of employment and firm types for area businesses, (2) identifies sectors of local economic development for which the Far EastSide neighborhood holds a relative strategic advantage compared to the rest of the city, (3) identifies the labor market skills of the working age population of the area, and (4) identifies and analyzes "gaps" between patterns of employment, business firms, and labor market skills of the Far EastSide neighborhood labor force.
- Develop a profile of water, sewer, and road capacity utilization in the Far EastSide neighborhood.
- Conduct a retail market analysis of the area and compile consumer spending potential by types of goods and services.
- Survey community, civic, and business leaders (in up to 20 "key informant" type, structured, open-ended interviews) concerning the types of economic development they want for the Far EastSide neighborhood.

- Perform a SWOT (strengths, weaknesses, opportunities, and threats) analysis of the Far EastSide neighborhood.

Ball State University conducted design and community development studies of the Far EastSide neighborhood with two different student classes. They conducted a Far EastSide Charrette in the fall of 1995 and worked with area youth in the Greenleaf Community Center 1996 Summer Camp Program. The physical results of these efforts are written text and numerous drawings and photographs. These show existing conditions in the neighborhood and possible urban design projects and were developed with input from area residents. The purpose of BSU's efforts in the Far EastSide neighborhood was to do the following tasks:

- Inventory physical development patterns in the Far EastSide neighborhood and determine the elements that define the existing community. Items that were discussed included land use, pedestrian and vehicular circulation patterns, open space usage, greenway development, recreational activities, public space, community amenities, public facilities, natural systems, and building design.
- Develop a community profile with area youth describing their likes and dislikes about the area.
- Make recommendations for the future development of the Far EastSide neighborhood considering input from area residents.

Martin University has done a study in the area also. The purpose of Martin's work was to do the following task:

- Survey residents of the Far EastSide neighborhood's apartment complexes, especially those in the area of 38th Street and Post Road, to determine the residents' concerns for the future of the neighborhood.

Another means of soliciting community input was called the "Oral History Project." Staff interviewed people in the Far EastSide community for their thoughts and memories of the area. This effort helped to create a picture of the neighborhood that was not available through the other, more formal methods.

Chart 1 illustrates the community-building efforts in the Far EastSide and the interrelationship of all of the various efforts that have occurred recently.

Far EastSide Community Development Council staff facilitated the development of the Strategic Plan for the Far EastSide Community. This text creates a broad picture of the quality of life the neighborhood would like to see in the future. The Vision is supported by detailed recommendations in the form of project and program statements. The Strategic Plan for the Far EastSide Community forms the framework within which all of the other recommendations of the *Far EastSide Neighborhood Plan* fit. It is included here as the Quality of Life statement that follows later.

The goals and objectives listed in the topical reports that follow were developed as a part of ongoing planning and community development efforts in the neighborhood. Goals are broad-based expressions of desire. Objectives are based on the goals and are further refinements of the goals. Goals and objectives are usually

stated without the constraint of identifying funding sources and methods of implementation.

Projects and programs statements are further refinements of the objectives. Thought is given to what the projects and programs will cost, how they will be implemented, and what the time schedule for their completion will be.

The projects and programs listed as a part of the topical reports in this plan have been developed by the FESCDC and the Department of Metropolitan Development. They are based on the goals and objectives statements developed as a part of the preparation of the *Far EastSide Neighborhood Plan*. Even though a "final" list of projects and programs is included in the *Far EastSide Neighborhood Plan*, it should not be considered inflexible. The list of projects and programs for the Far EastSide neighborhood will continue to evolve over time as needs and resources change.

At the June 1996 FESCDC public meeting, neighborhood people were given the opportunity, on an individual basis, to determine the projects and programs they felt were the most desirable. This allowed the neighborhood to indicate which of the projects and programs are best suited to meet the goals and objectives for the Far EastSide.

Projects and programs receiving the most support as a part of the rating process above are shown in order below with the most desirable listed first:

- Develop a community gathering place at a major intersection.
- Develop a branch library.
- Reduce gang and drug activity and, in general, reduce crime.

*Far EastSide Neighborhood Plan
Planning Process*

- Develop a system of sidewalks that link together major destinations with residential areas and connects to the Indianapolis Greenways.
- Develop standards dealing with the appearance and safety of the area's commercial and industrial facilities and a method of implementing them.
- Develop a Boys and Girls Club.
- Develop a new community park.
- Provide more police patrols.

Since the June 1996 FESCDC public meeting, area residents have put special emphasis on the following projects:

- Development of a new community park.
- Development of a new Greenleaf Community Center building.
- Development of a branch library.
- Construction of a new retail development in the area.

As projects and programs are listed in the following topical reports, their relative ease of implementation is indicated by the headings "Long-Term," "Mid-Term," and "Short-Term." Long-term projects and programs are those that may take 20 or more years to develop because of their significant cost or the lengthy process necessary for their development. Mid-term projects and programs will need approximately five to ten years for development, and short-term

projects and programs may already be underway or may be undertaken in the next five years.



5 - Far EastSide Residents at a Far EastSide CDC Meeting

QUALITY OF LIFE

The Far EastSide Community Development Council sponsored a workshop to create a future vision for the Far EastSide neighborhood. The **"Strategic Plan for the Far EastSide Community"** is the result of this effort. It describes the quality of life that neighborhood residents strive for when thinking of the future of the neighborhood.

As a part of developing the Strategic Plan, the Far EastSide neighborhood developed the following set of principles.

Philosophy: The Guiding Principles of the Far EastSide Community

The Far EastSide Community is guided by the following principles:

- All residents of the Far EastSide Community have the right and the responsibility to plan for the future of their community.
- All residents, regardless of race, gender, age, and socioeconomic status, are needed and asked to participate in community projects and initiatives.
- The residents are the leaders and spokespeople for the community.
- Business and industry, schools, churches, and other stakeholders are recognized by residents as an integral part of the community.
- Planning for the future is built on the assets already in the community.

Strategic Plan for the Far EastSide Community: Preserving Our Assets for Future Generations

The Vision for the Far EastSide Neighborhood

These words express the hopes and dreams of the Far EastSide residents. It is our vision for the future of our community.

We are a strong, residential, family-oriented community. Our neighborhoods welcome people of all racial and economic backgrounds. Residents can find a wide variety of housing styles and a safe, decent, affordable place to raise our children and remain to enjoy our golden years. We are committed to long-term preservation of the Far EastSide through mobilizing neighborhood organizations, partnering with city-wide institutions and businesses to strategically plan and shape the future of the Far EastSide community.

Our neighborhood youth enjoy social, educational, recreational, and physical opportunities that allow them to develop and positively contribute to our community. As they become adults, many of our youth choose the Far EastSide as the place to make their home and raise their own families.

Our community displays the best features of suburban neighborhoods with connected businesses, real estate investors, developers, and small residential neighborhoods enhanced by job opportunities, recreation, and business. Modern health care, public transportation, dynamic educational facilities, and libraries combine with protected green spaces, wildlife, corn fields, and timberland to preserve our unique mix of urban and rural living.

The Far EastSide provides a balanced mix of businesses and residences through thoughtful land use control. The area businesses are an important community stakeholder and feel a strong connection to the Far EastSide. A prosperous private industrial sector, concentrated primarily in the southern portion of the community, provides a sound economic base. A diverse mix of professional and labor job opportunities within our community supports a healthy economic foundation built upon positive private investment. This investment provides a true living wage for residents and attractive commercial and retail areas to shop. In addition to good interstate highway access, Far EastSide employers find that we have solid work habits and technical abilities.

Our Community is also home to the Little League Central Regional Headquarters and is conveniently located near shopping centers that include Washington Square Mall and Castleton Square Mall. The interstate highway access also makes downtown attractions such as The Circle Centre Mall, restaurants, sporting events, museums, and cultural amenities within a few minutes for Far EastSide residents.

OUTCOME I: Increase the Far EastSide residents' capacity to energize and unify the collective power of all community stakeholders.

Strategy A: Create and maintain a comprehensive community organization

The Far EastSide envisions an umbrella organization that will lead planning activities, strengthen neighborhood based organizations, and broker resources to fulfill the community's strategic plan. The mission of this organization will be comprehensive in nature and

serve to connect all aspects of community life that include social services, retail development, recreation, and other issues of concern to the Far EastSide residents. The financial plan of the organization will continue to emphasize private investment with the use of public funds to support private initiative. The umbrella organization will eventually be housed with a neighborhood center and become a community focal point.

Strategy B: Create and maintain strong neighborhood-based organizations

The Far EastSide believes that strong neighborhood-based organizations are essential to preserving the community over the long-term. The Far EastSide envisions every area of the community will be represented by some type of neighborhood-based organization. These groups will work collaboratively under the auspices of an umbrella community organization to achieve community goals. The Far EastSide will enhance and preserve the special identity of residential subdivisions through community organizing, the use of signage at neighborhood entryways, special events, and a communications program. At the same time, each neighborhood will be made to feel a part of the larger "Far EastSide" community and will be supported to collectively address issues and concerns.

Strategy C: Maintain a comprehensive public relations program

The Far EastSide believes a strong public relations program is essential to communicating with residents, media, government, and other important citywide institutions the priorities, activities, and successes of the Far EastSide community. This awareness will ensure the Far EastSide community is identified as a viable and stable community that takes proactive measures to improve its neighborhoods.

Outcome II. Increase the capacity of neighborhood residents to lead and sustain long-term neighborhood preservation efforts.

Strategy A: Provide leadership training opportunities

The Far EastSide believes leadership training opportunities are critical in preparing and developing residents to be the visionaries and spokespersons of the community. Developing and strengthening the leadership skills of residents will assure the future direction of the community is in the hands of capable resident leaders. Such leadership training opportunities will maintain a leadership pool of residents the community can draw upon to lead a wide range of initiatives at a variety of different levels.

Strategy B: Capitalize the energy and talent of 11,000 neighborhood youth

The Far EastSide believes its neighborhood youth are an asset to the community and should be involved to the fullest extent in community life and activities. Youth will be key contributors to furthering the community vision through their participation in planning activities and community service projects. Youth will also have opportunities to participate and contribute to the community economy through employment with the local business community. These strategies will encourage the youth to remain in the Far EastSide to establish their home, raise families, and retire.

Strategy C: Connect the community physically and improve its appearance

The Far EastSide believes improvement of the physical connectiveness and appearance is an important way to preserve the community. The physical features are unique community characteristics that affect how residents relate to one another and to

the rest of the city. The geographic vastness of the community will be diminished by connecting the neighborhoods and amenities of the Far EastSide through the use of greenways, trails, and more sidewalks. Connecting the community in this manner will also emphasize beautification efforts to improve the attractiveness of neighborhoods, shopping areas, and common areas to complement the physical amenities.

OUTCOME III. Increase the Far EastSide's identity through the creation of community focal points.

Strategy A: Build a neighborhood center

The Far EastSide believes a facility-based neighborhood center is important to house the comprehensive community organization, support neighborhood based organizations, provide social services, and serve as a community meeting place. This building will naturally serve as a community focal point in the Far EastSide. The area around 38th and Mitthoeffer Road is ideally situated for this purpose. A new neighborhood center will become a community place where youth and families can enjoy recreational, educational, and community activities together. John Marshall Middle School anchors the focus on youth and families in this area.

Strategy B: Expand public open spaces

The Far EastSide believes that preservation of greenspace and passive recreational programming is an important element of improved quality of life. A community park connected by greenways will link a variety of community assets such as John Marshall Middle School, Bel-East Little League, 30th and German Church Neighborhood Park, and several neighborhoods. The current

abundance of open space is conducive to the creation of recreational activities for youth and families that include trails, aquatic facilities, and open space.

OUTCOME IV. Improve the housing stock in the Far EastSide through efforts that balance and maintain attractive, safe, and quality places to live.

Strategy A: Encourage positive residential growth

The Far EastSide believes that positive, stable residential growth will be achieved by guiding new residential development to avoid over-concentration of multi-family housing, and preserving the diversity of housing options and price. The Far EastSide desires that the eastern portion of the neighborhood be developed as single-family dwellings that serve low, middle, and high income levels. Because of the current high density along the Post Road corridor, additional multi-family housing is not desired by the neighborhood unless a special need arises (such as senior citizen housing). Future affordable housing should be spread throughout the presently undeveloped land.

Strategy B: Upgrade selected apartment communities

The Far EastSide believes addressing the physical appearance and the quality of management within selected apartment communities will improve the living environment of tenants and the overall image of the Far EastSide. The community will need to address and reverse the negative market forces and disinvestment in the apartment communities to preserve the need for affordable, quality rental housing. The use of zoning and improvement of public amenities, tenant organizing, and encouraging progressive, high

quality management and investor practice will be important components of this effort.

Strategy C: Maintain and increase the value of owner-occupied and rental homes

The Far EastSide believes maintaining and increasing the home values is key to preserving the affordable, quality housing stock currently available in the community. Increasing home values will ensure the Far EastSide remains competitive with other neighborhoods as an affordable, safe, and family-oriented place to live and work.

Strategy D: Market positive aspects of residential location

The Far EastSide recognizes the importance of marketing the community by emphasizing the unique mix of city amenities and rural atmosphere. By creating an image of a family suburban neighborhood with many choices of affordable housing and great access to virtually all parts of the city, the Far EastSide will communicate the community vision to potential home buyers.

OUTCOME V. Improve the economy of the Far EastSide by attracting positive private investments to improve and expand established businesses and encourage new business ventures.

Strategy A: Upgrade the value and commercial market of Post Road Retail Corridor

The Far EastSide believes the Post Road Corridor is an important economic focal point in the community. The location is in the heart of the Far EastSide community with Post Road linking this commercial

area to Interstate 70 and the Fort Harrison State Park. This node could support neighborhood needs such as grocery stores, dry cleaners, hardware, and family restaurants.

Strategy B: Market positive aspects of 30th Street Industrial Corridor

The Far EastSide believes the access to I-70 and I-465 presents additional opportunities to attract other types of economic opportunities. The interstate highway access is an advantage for the community to expand the light industrial corridor on 30th Street. Employers and employees alike can utilize the transportation linkages of the Far EastSide to other parts of the city, making the Far EastSide a convenient place to work.

Strategy C: Improve the commercial and retail node at 38th and Mitthoeffer Road

The Far EastSide believes recruiting and encouraging private investment to create recreational related businesses such as a sporting goods store, restaurants, theater, or other active leisure facilities capitalizes on the recreational and youth characteristics of the community.

OUTCOME VI: Improve the Far EastSide's economy by increasing the residents' level of employability through brokering workforce and career development services.

Strategy A: Increase job training and career development opportunities for residents.

The Far EastSide believes brokering adult learning opportunities that further develop the job skills of residents will improve the marketability of residents in the job market. Residents with increased job skills will maintain, and likely improve, their economic situation and their ability to fulfill their family goals. Building relationships and knowing the needs of the employers in the community will assist the Far EastSide in determining what areas of career development are relevant.

Strategy B: Increase job placement for residents

The Far EastSide believes assisting those residents not currently participating in the job market or seeking better jobs is critical in establishing the economy of the community. Job readiness, life skills development, and job placement services can be implemented to prepare residents for entry level positions or overcome displacement. Building relationships and knowing the needs of the employers in the community will assist the Far EastSide in securing local jobs for residents.

Strategy C: Improve the employment opportunities for youth.

The Far EastSide believes that capturing the energy of neighborhood youth by brokering employment opportunities specifically for young people is key to improving the economic viability of the community. Employment will provide youth with economic rewards as well as the opportunity to develop important life skills and leadership skills. Building relationships and knowing the needs of the employers in the community will assist the Far EastSide in securing local jobs for youth. The community will benefit over the long term by the increased financial capacity and leadership skills, resulting in youth rooted and committed to remaining in the community.

URBAN DESIGN

The Far EastSide community has many of the characteristics of typical suburban development: clearly separated land uses, low density development, heavy reliance on the automobile for circulation throughout the neighborhoods, and many cul-de-sacs in residential streets. During the preparation of the *Far EastSide Neighborhood Plan*, there was much discussion of the good and bad points of this type of development. Clear separation of land uses and low density development can make quiet peaceful neighborhood areas that people can identify as their subdivision or their part of the neighborhood. This can also mean, though, that the area is very spread out, making it difficult for people to have an overall feeling of community. Reliance on the automobile for circulation throughout the neighborhoods may recognize the way most people go about daily life. However, it can ignore the needs of those that do not have access to an automobile or those who choose to spend time walking in their community. Cul-de-sacs in residential areas have the advantage of exposing people that live in these areas to less daily traffic on their streets. They also can reduce automobile circulation options for motorists traveling through the area, therefore placing an extra burden on through streets. Enclaving residential areas around cul-de-sacs can also cut off residents from the community as a whole, thereby decreasing the overall feeling of community in an area.

The urban design recommendations developed as a part of this planning process have been focused on improving the existing fabric of the area to create a more cohesive community. Special attention was paid to existing features of the community, such as streams and wooded areas, that could be improved to strengthen the fabric of the community.

Major Urban Design Goal: Improve the functioning, environmental quality, and image of the Far EastSide neighborhood. Do this by improving the elements that create image, such as paths (streets or pedestrianways), edges (areas between land uses), districts, and nodes (activity areas, landmarks, and entryways).

Objectives:

- A. Develop a community gathering place at the center of the neighborhood. Concentrate a mix of commercial, residential, and civic uses at this intersection. Use new development to create a town center. Concentrate new construction on the property lines at the intersection.
- B. Link this gathering place with other important locations throughout the community such as churches, schools, and other commercial centers. Linkages will form a network of pedestrian, cycling, bus, and automobile circulation. Use natural features such as streams as a part of this linkage system wherever possible.
- C. Enhance entryways in and into the neighborhood.
- D. Create a sense of community identity.

Projects and Programs:

Long-Term-

- 1. Develop a community gathering place at one of the following major intersections in the Far EastSide.
 - a) 46th and Post Road,

- b) 38th and Post Road, or
- c) 38th and Mitthoeffer Road.

Description:

- Create a green space, town square, or place to accommodate public, outdoor gatherings.
- Concentrate commercial uses at the intersection.
- Concentrate civic uses at the intersection such as a new Greenleaf Community Center, library, museum, community gardens, day care facility, transit transfer station, recreation center with swimming pool, or hotel.
- Concentrate new buildings near the streets and the intersection.
- Link the intersection to surrounding residential areas by means of a new path and sidewalk system.
- Extensively landscape parking lots, remove any unnecessary paved areas, and landscape these areas.
- Provide new housing on upper floors of commercial buildings.

Purpose:

- Provide a focus for year-round community activities.
- Strengthen the identity of the overall community by providing a central focus for the community similar to the town square of a small town.
- Provide a commercial node that meets the needs of neighborhood residents.
- Provide housing opportunity for a wide range of people.
- Serve both residents of the neighborhood and visitors to Fort Harrison State Park.
- Work with existing businesses at the intersection and also attract new types of businesses, such as a hotel, fitness center, or restaurant cluster.

2. Develop a system of sidewalks throughout the Far EastSide neighborhood that links together major destinations with residential areas and connects to the Indianapolis Greenway Plan.

Description:

- Develop sidewalks that link subdivisions and apartment complexes in the neighborhood to major destinations, such as shopping areas and schools.
- Develop a system of trails that link subdivisions and apartment complexes in the neighborhood to parks and other natural features such as stream corridors.

Purpose:

- Provide a safe method for children and others to move from one place to another in the neighborhood.
- Provide fitness walkers with a place to exercise in the neighborhood.

Mid-Term-

3. Use elements such as columns, signs, special landscaping, or special lighting to signify major entries into the overall neighborhood and a further system to identify the entries into neighborhood subdivisions.

Description:

- Encourage subdivisions, apartment complexes, and commercial centers to erect identification signs at major entryways.
- Develop standards for these signs that both allow individuality and also ensure that signs have enough in common to show that they are all a part of the same neighborhood.
- When possible, add special landscaping and lighting to enhance these entryways.

- Develop similar treatments at major entries into the neighborhood, such as 38th and Shadeland, 30th and Post, and Post Road at Pendleton Pike.

Purpose:

- Create a positive, cohesive image of the community.
 - Make it easier to identify the different parts of the community.
4. Develop a landmark at a key location in the neighborhood.

Description:

- Select a key location in the community, such as 38th and Post Road, and develop a landmark, such as a clock or monument, that signifies that key location.

Purpose:

- Create a positive image of the community.
- Provide a recognizable reference point in the community.

Short-Term-

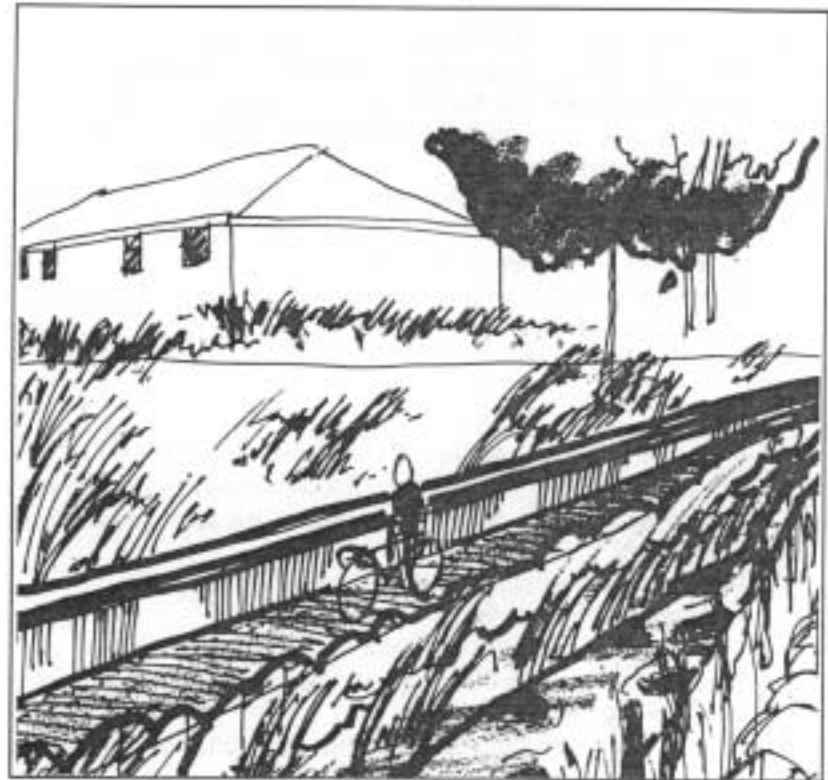
5. Use special street lighting and banners to emphasize the importance of commercial intersections.

Description:

- Place banners on utility poles on streets adjacent to significant shopping areas in the community. (These banners are similar to the ones used downtown.)
- Use special lighting on streets adjacent to significant shopping areas in the community and in shopping area parking lots.

Purpose:

- Provide a different and more unified image of commercial areas.



Pedestrian Greenways Concept Drawing

TRANSPORTATION

Transportation was often a topic in the Far EastSide planning meetings. The following comments are examples of the types of transportation issues raised by neighborhood residents in meetings:

- The neighborhood would like to see a bus route that circulates through the area and continues to Washington Square Mall.
- There is a lack of sidewalks on major thoroughfares.
- There is a need for better bus routes and more frequency of circulation of busses.
- Transportation for youth is an issue. Can they get to programs? Are there sidewalks? Do buses go where they are needed?
- If there are economic opportunities for youth, will there be transportation available to them?
- Fort Harrison State Park has some terrific recreational facilities, including a gym and indoor and outdoor swimming pools. Also there is a confidence-building course. How does youth get to these facilities?
- People without cars that want to work in Castleton have a difficult time getting to work. If they ride the bus from the Far EastSide to Castleton, they have to ride downtown first and then to Castleton. This adds at least an hour to the ride.

Much of the Far EastSide neighborhood relies on a network of major streets laid out on a one-mile grid with few alternate routes for automobiles. The maintenance of this street system is critical to the vitality of the neighborhood. As the eastern third of the neighborhood develops, the street network will need to develop with it. Map 2 shows the street pattern of the neighborhood.

The *Official Thoroughfare Plan for Marion County, Indiana*, which City staff updates periodically, recommends roadway improvements designed to mitigate congestion and delays. In addition, the

Thoroughfare Plan includes recommendations for right-of-way preservation. The Thoroughfare Plan assigns each recommended improvement a priority rating indicating when the work should occur. Priority ratings range from "Committed" (highest priority) to "D" (lowest priority). The actual timing of implementation of the Thoroughfare Plan's recommendations is a function of available funding and the priority schedule for improvements throughout Marion County.

Recommended thoroughfare priority improvements for the Far EastSide neighborhood are as follows:

- Widening of Pendleton Pike from four lanes to seven lanes between I-465 and Post Road (Priority B).
- Widening of Pendleton Pike from two lanes to five lanes between Post and Oaklandon roads (Priority B).
- Widening of Franklin Road from two lanes to four lanes between Pendleton Pike and 38th Street (Priority B).
- Widening of Franklin Road from two lanes to four lanes between 38th and 30th streets (Priority B).

Two additional recommendations that have a great impact on the Far EastSide neighborhood are:

- Improve the interstate interchange as I-70 and Post Road (Committed).
- Construct an interstate interchange at I-70 and German Church Road (Priority D).

Four road sections in the Far EastSide neighborhood are presently operating with unacceptably high levels of traffic. They are:

- Pendleton Pike between I-465 and German Church Road.
- Franklin Road between 42nd and 30th streets.

*Far EastSide Neighborhood Plan
Transportation*

- 38th Street between Post and Mitthoeffer roads.
- I-465 between I-70 and Pendleton Pike.

There are currently seven Metro bus routes that serve the Far EastSide neighborhood. One provides cross-town service and one is an express route to downtown. Metro has recently implemented a new route using smaller buses called the Eastside Circulator. This route provides circulation within the neighborhood and links to Washington Square Shopping Center.

Indiana University found that, based on the 1990 Census reports, 93 percent of people living in the Far EastSide neighborhood worked in Marion County and approximately 80 percent worked within Indianapolis' city limit. Table 1 shows travel time to work of residents of the Far EastSide neighborhood. This suggests that almost three-fourths of the residents worked outside the Far EastSide neighborhood, as indicated by travel times of up to 30 minutes.

Further quoting the IU study, Table 2 shows that more than 93 percent of Far EastSide residents used an automobile to get to work. This supports the findings indicating that residents traveled outside the Far EastSide area to work. Data from the 1990 Census indicate similar trends throughout Marion County, with almost 92 percent of the workforce using a private vehicle to get to work. Only 2 percent of the Far EastSide residents reported using bus service as the primary mode of transportation.

Significant portions of the Far EastSide neighborhood lack sidewalks. Of special concern to the community are the routes that children use from home to school and other major destinations throughout the neighborhood.

TABLE 1-TRAVEL TIME TO WORK OF FAR EASTSIDE RESIDENTS (WORKERS 16 YEARS AND OLDER)

Travel Time in Minutes	Residents	Percent	Cumulative Percent
0-14	4,352	27.5	27.5
15-29	7,279	46.0	73.5
30-44	2,912	18.4	91.9
45-89	807	5.1	97.0
90 or more	253	1.6	98.6
Worked at Home	222	1.4	100.0
Totals	15,825	100.0	100.0

Source: Indiana University-CUPE and U. S. Bureau of the Census: 1990






TABLE 2-MODES OF TRANSPORTATION USED BY RESIDENTS IN THE FAR EASTSIDE AREA (WORKERS 16 YEARS AND OLDER)

	Number Who Use	Percent
Car	14,827	93.7
Bicycle or Walking	364	2.3
Bus	316	2.0
Motorcycle	21	0.13
Taxi	8	0.05
Other Means	66	0.42
Worked at Home	222	1.4
Totals	15,824	100.0

Source: Indiana University-CUPE and U. S. Bureau of the Census: 1990

FAR EASTSIDE NEIGHBORHOOD PLAN

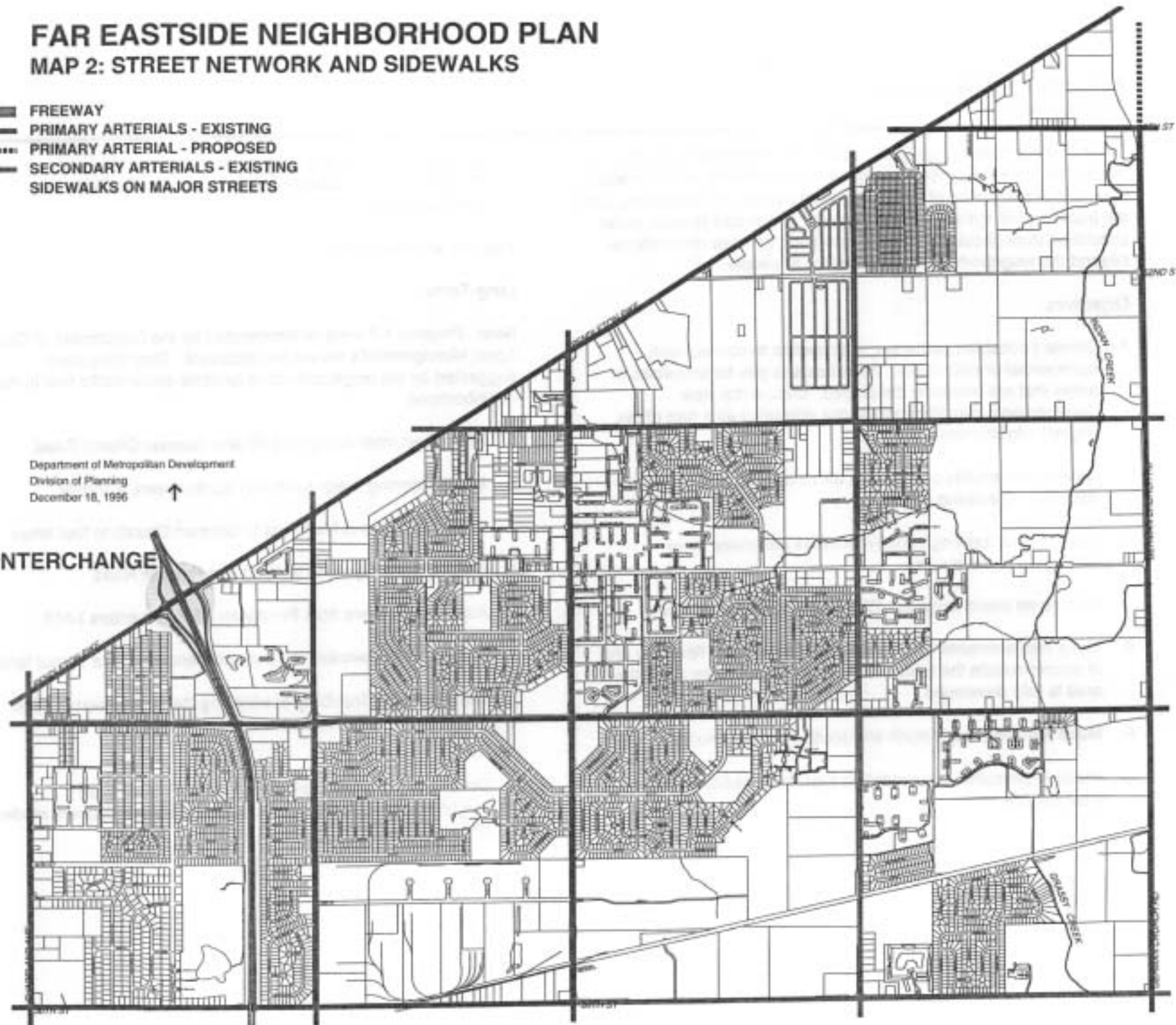
MAP 2: STREET NETWORK AND SIDEWALKS

-  FREEWAY
-  PRIMARY ARTERIALS - EXISTING
-  PRIMARY ARTERIAL - PROPOSED
-  SECONDARY ARTERIALS - EXISTING
-  SIDEWALKS ON MAJOR STREETS

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INTERCHANGE



Far EastSide Neighborhood Plan
Transportation

Major Transportation Goal: Develop a comprehensive transportation system for the Far EastSide neighborhood that builds and improves upon the existing base of sidewalks, local streets, thoroughfares, and the public transit system. At the same time, it should provide better circulation throughout the neighborhood and to major destinations beyond the neighborhood boundaries for all people.

Objectives:

- A. Create pedestrian pathways or sidewalks to connect with commercial or civic areas. Seek funds to pay for sidewalks in areas that are presently developed. Ensure that new developments construct necessary sidewalks as a part of the original construction.
- B. Connect the shuttle bus system with the Metro bus system and complement existing services.
- C. Identify other existing transit resources and make them accessible to the public.
- D. Provide an interchange at I-70 and German Church Road.
- E. Make improvements to area streets to ease traffic flow now and to accommodate the future traffic flow that will come when the area is fully developed.
- F. Make widening major north and south streets a priority.
- G. Improve the public transportation system, especially east and west service.

- H. Ensure that youth and seniors have ready access and transportation to activity centers in the Far EastSide neighborhood.

Projects and Programs:

Long-Term-

Note: Projects 1-7 were recommended for the Department of Capital Asset Management's review and approval. They have been suggested by the neighborhood to facilitate better traffic flow in the neighborhood.

- 1. Provide an interchange at I-70 and German Church Road.
- 2. Make widening major north and south streets a priority.
- 3. Widen 38th Street from Post to German Church to four lanes.
- 4. Relieve the congestion at 42nd and Franklin Road.
- 5. Add left turn lanes from Pendleton Pike as it enters I-465.
- 6. Widen the intersection of 42nd and Pendleton Pike to four lanes.
- 7. Investigate the feasibility of widening the intersection of 42nd Street and Mitthoeffer Road.
- 8. Develop a transit transfer station in the Far EastSide neighborhood to facilitate connections between different modes of transportation.

Description:

- Develop a special bus stop or bus transfer facility in the vicinity of 38th and Mitthoeffer.
- Provide shelter from the elements for people waiting on the bus.
- Provide transit information.

Purpose:

- Provide a waiting area for local transit riders to wait for buses.
- Provide a convenient location for riders to transfer from one bus line to another.
- Provide a place to transfer from the Metro routes to the Eastside Circulator route.
- Make bus riding from the Far EastSide neighborhood more agreeable and attractive.

9. Increase the efficiency of the public transit system in the Far EastSide neighborhood.

Description:

- Decrease lag time between bus routes by increasing the frequency or number of routes, or decrease time spent during travel by providing more direct routes.
- Provide direct bus routes from Park and Ride locations and from large employment centers during peak hours of travel.

Purpose:

- Make bus riding from the Far EastSide neighborhood more agreeable and attractive.

Mid-Term-

10. Make mid-term improvements to the area's sidewalk system and streets to improve pedestrian and automobile circulation in the neighborhood.

Description:

Note: These projects were recommended for the Department of Capital Asset Management's review and approval.

- Install sidewalks at 42nd and Mitthoeffer Road.
- Install sidewalks on Mitthoeffer between 30th and 38th streets.
- Install a sidewalk in front of John Marshall on the south side of 38th Street.
- Improve or add a walkway on the bridge north of 42nd and Mitthoeffer Road.
- Install traffic signals at 42nd and Mitthoeffer Road.
- Add left turn signals for all directions of movement at 38th and Mitthoeffer Road.
- Remove the dip at 42nd and Pendleton Pike.
- Set power poles back from the intersection at 38th and Mitthoeffer Road.

Purpose:

- To improve pedestrian and automobile circulation in the neighborhood.

Short-Term-

11. Make short-term improvements to the area's sidewalk system and streets to improve pedestrian and automobile circulation in the neighborhood.

Description:

Note: These projects were recommended for the Department of Capital Asset Management's review and approval.

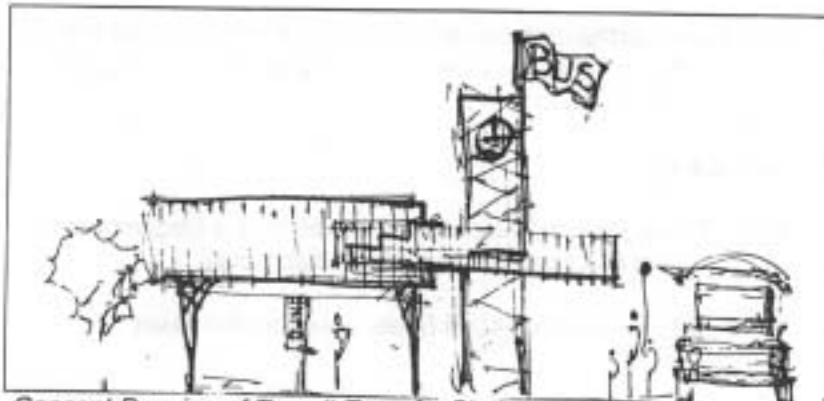
- Install crosswalk on 42nd Street at Mitthoeffer Road.

*Far EastSide Neighborhood Plan
Transportation*

- Install handicapped access ramps on the sidewalks at 42nd and Mitthoeffer Road.
- Study 42nd and Mitthoeffer Road to improve safety for children at this intersection.
- Install four-way stop at Pepperidge Drive and Artistocrat Lane.
- Restripe center lane for continuous left turns in either direction at 38th and Mitthoeffer Road.
- Install a bridge warning at the bridge north of 42nd and Mitthoeffer Road.
- Seal the cracks in the asphalt on Mitthoeffer Road from 30th to 42nd streets.
- Resurface the streets between 38th and 42nd and Franklin and Post roads.
- Resurface 38th Street from the Conrail Bridge through the Shadeland Avenue intersection.
- Resurface 42nd Street from Post to Mitthoeffer Road.
- Resurface the intersection of 42nd and Mitthoeffer.
- Resurface streets in the Farmington Subdivision.
- Repair and resurface access drives on Mitthoeffer from 30th to 46th Street.

Purpose:

- To improve pedestrian and automobile circulation in the neighborhood.



Concept Drawing of Transit Transfer Station



6 - Coach Used on Eastside Circulator Route

HISTORIC PRESERVATION

There are 35 potentially historic sites in the Far EastSide neighborhood. This is according to information listed in *Indiana Historic Sites and Structures Inventory*, Warren Township, 1993 and Lawrence Township, 1994 which were prepared by the Indiana Department of Natural Resources and the Historic Landmarks Foundation of Indiana. One site is an old school, 24 are individual houses, seven are farms, and three are cemeteries. A complete list of these sites is included in the Appendix.

The oldest sites in the neighborhood are thought to be the cemeteries dating from the early part of the 19th century. The farm sites date from the late 19th century to the first part of the 20th century. Most of the individual houses were built in the 20th century, with over half of them thought to have built in the 1920s. Map 3 shows the location of the sites.

One of the primary concerns expressed by Far EastSide residents during the planning process is that the area does not have a strong identity. The area lacks significant landmarks. The 35 potentially historic sites may offer an opportunity to develop one or more significant landmarks that also will provide tangible links with the area's past.

Major Historic Preservation Goal: Use the historic resources of the neighborhood in developing a theme or image for the neighborhood, as much as possible.

Objective:

Investigate the possibility of preserving or restoring local historic structures and sites.

Projects and Programs:

Long-Term-

Develop a model farm in the Far EastSide neighborhood.

Description:

- Purchase a historic farm site in the neighborhood and develop it as a model farm.
- If a farmhouse is present, possibly use it as a bed and breakfast to provide lodging in the area and income to help support the property.
- Raise crops and livestock for demonstration purposes.
- Provide community garden plots.
- Preserve any natural areas on the property such as wetlands and wooded areas.

Purposes:

- Preserve open space.
- Preserve a neighborhood historic site.
- Provide an attraction in the area.
- Provide an educational experience for area school children.

Short-Term-

Develop a program that uses area cemeteries to teach area residents, especially school children, about the history of the Far EastSide neighborhood and its people.

Description:

- Design a program based on the historical information that can be obtained from local cemeteries. This may include locating the burial sites of people important in the early development of the Far EastSide. Classes could take field trips to view these sites.

Far EastSide Neighborhood Plan
Historic Preservation

- Offer the program to local school teachers.

Purposes:

- Provide an educational experience for area school children.
- Reinforce the importance of the history of the Far EastSide.



7 - Deel Farm House-10940 East 42nd Street

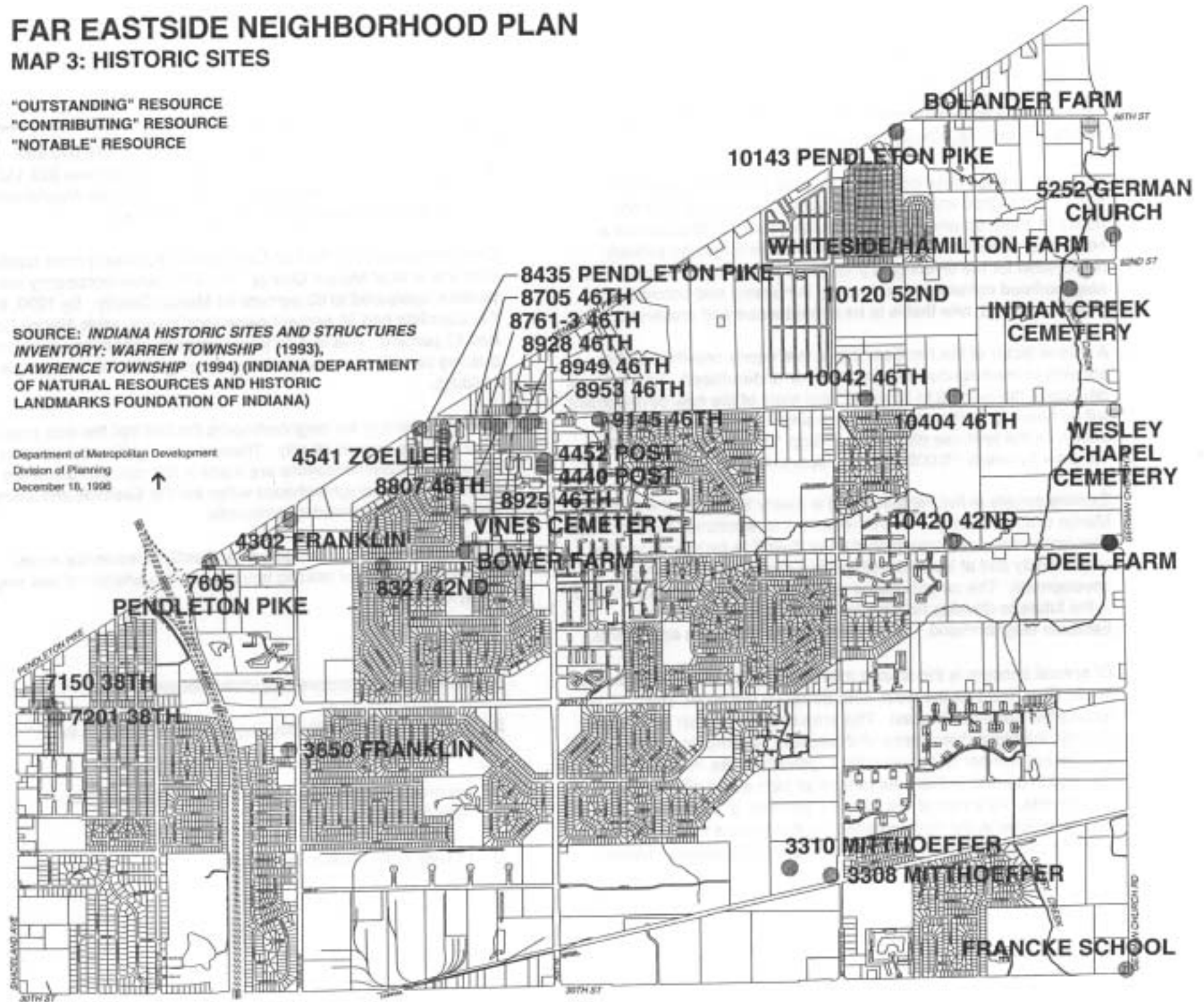
FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 3: HISTORIC SITES

- "OUTSTANDING" RESOURCE
- "CONTRIBUTING" RESOURCE
- "NOTABLE" RESOURCE

SOURCE: INDIANA HISTORIC SITES AND STRUCTURES INVENTORY: WARREN TOWNSHIP (1993), LAWRENCE TOWNSHIP (1994) (INDIANA DEPARTMENT OF NATURAL RESOURCES AND HISTORIC LANDMARKS FOUNDATION OF INDIANA)

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HOUSING AND NEIGHBORHOODS

The Far EastSide neighborhood is diverse in housing prices and types. It is a good area for people to rent or purchase their first home, to move up when more space is needed, or to purchase a home after retirement. This diversity in housing may be partially responsible for the diversity of population in the Far EastSide. The neighborhood considers this diversity in housing and population a positive element; one that is to be strengthened and preserved.

A unique factor of the Far EastSide is that nearly one-third of the property in the neighborhood is vacant or underutilized. This land will develop in the next 20 to 30 years, and most of the new development will be housing. If the new housing is single-family residential, as shown on the land use plan which is Map 15, the area's population will grow by nearly 10,000 people in approximately 30 years.

Existing density in the neighborhood is nearly two times the average Marion County density. For this reason, it is recommended that most new residential development in the Far EastSide neighborhood be single-family and at lower densities than existing single-family development. The neighborhood residents feel there may be a need in the future to develop housing for senior citizens in the Far EastSide neighborhood. Some of this housing may be apartments.

Of special concern is the square mile bounded by 38th Street on the south, Post Road on the west, 46th Street on the north, and Mitthoeffer Road on the east. This area has the highest population density, the highest incidence of dilapidated building conditions, and the highest number of people living in poverty in the neighborhood. Population density in this area ranges as high as 6,188 people per square mile. As a part of the planning process, a "windshield survey" was conducted in the neighborhood. In this square mile area, there were 57 vacant and boarded apartment units or buildings. Median

household incomes in this area ranged between \$19,000 and \$25,500 in 1990, while the Marion County average was \$29,152. A number of the recommendations in the *Far EastSide Neighborhood Plan* are aimed at dealing with issues in this area.

Owner-occupancy in the Far EastSide is decreasing more rapidly than it is in all of Marion County. In 1970, owner-occupancy was 66 percent, compared to 62 percent for Marion County. By 1990, the Far EastSide had 50 percent owner-occupancy, while Marion County had 57 percent. This is a concern, because experience shows that building conditions are sometimes not as good in renter-occupied buildings.

Also of concern to the neighborhood is the fact that the area does not have a strong, overall identity. There are no significant landmarks in the area. Recommendations are made in this plan that are aimed at better identifying neighborhoods within the Far EastSide and linking them together in a broader community.

Major Housing Goal: Strengthen Far EastSide residential areas through renovation of existing housing and the addition of new single-family housing.

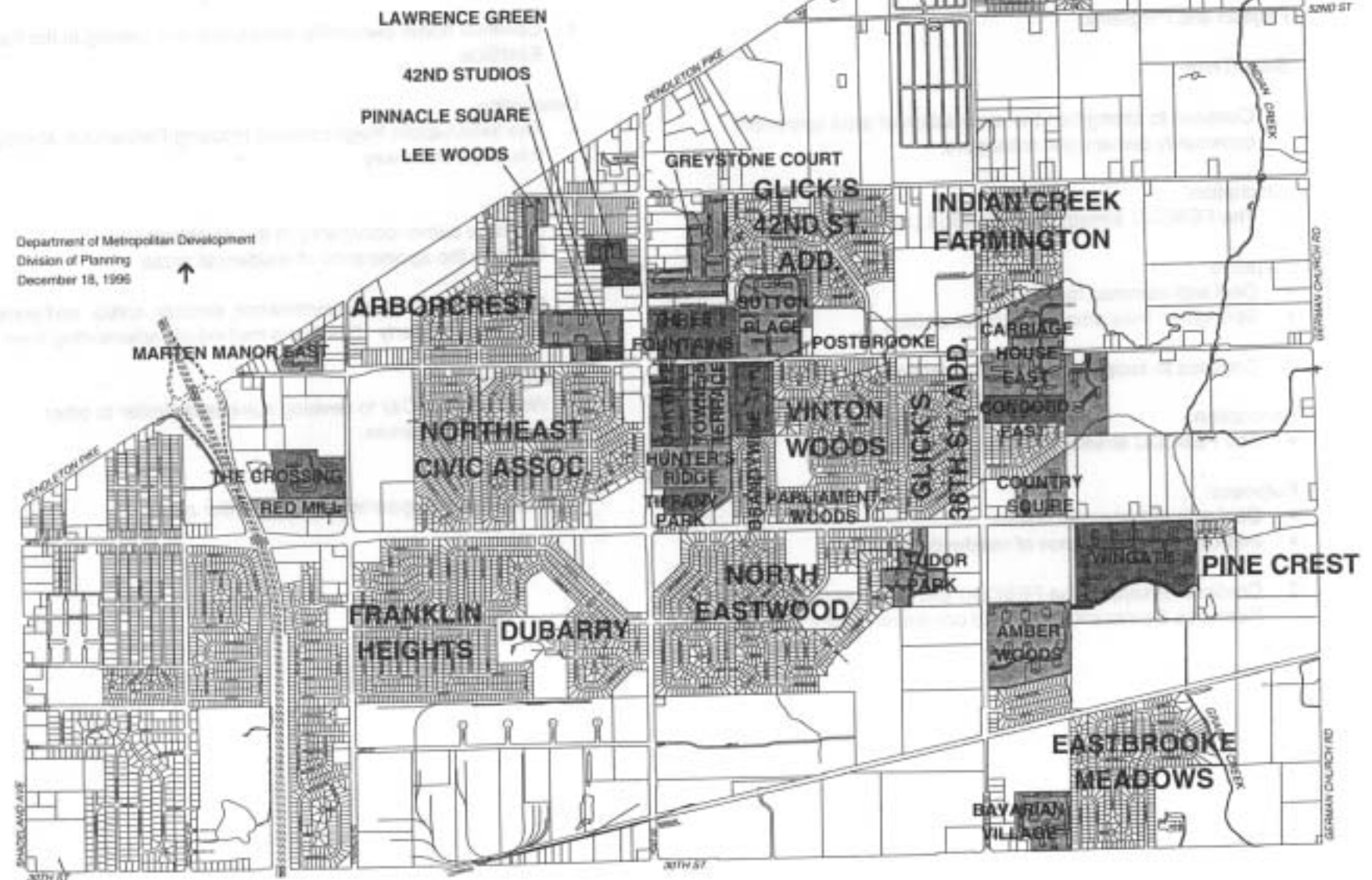
Objectives:

- A. Rehabilitate or remove dilapidated housing.
- B. Ensure that affordable housing remains available in the neighborhood.
- C. Improve the appearance of residential portions of the neighborhood.
- D. Provide more housing for seniors.

FAR EASTSIDE NEIGHBORHOOD PLAN
MAP 4: NEIGHBORHOODS

NEIGHBORHOOD ORGANIZATIONS

APARTMENT COMPLEXES



*Far EastSide Neighborhood Plan
Housing and Neighborhoods*

- E. Move toward a balance in home ownership and rental housing in the neighborhood.
- F. Move toward a balance in single-family and multi-family housing in the neighborhood.

Projects and Programs:

Short-Term-

1. Continue to strengthen the association of area apartment community owners and managers.

Description:

- The FESCDC already has this effort underway.

Purposes:

- Deal with common issues.
 - Strengthen links among the communities.
2. Continue to support the Code Compliance committee.

Description:

- The FESCDC already has this effort underway.

Purposes:

- Deal with enforcement issues.
 - Improve the appearance of residential areas.
3. Continue to support the FESCDC and Indianapolis Neighborhood Resource Center efforts to build community in the Far EastSide.

Description:

- The FESCDC and INRC already have this effort underway.

Purposes:

- Strengthen the neighborhood.
4. Continue home ownership assistance and training in the Far EastSide.

Description:

- The Indianapolis Neighborhood Housing Partnership already has this effort underway.

Purposes:

- Increase owner-occupancy in the neighborhood.
 - Improve the appearance of residential areas.
5. Develop standards of maintenance, security, safety, and general upkeep of property. Develop a method of implementing them.

Description:

- Work with the City to develop standards similar to other neighborhood areas.

Purposes:

- Improve the appearance of residential areas.

COMMERCIAL AND INDUSTRIAL DEVELOPMENT

Many long-time Far EastSide residents first moved to this area to be near their jobs in large businesses in the area, especially in the Shadeland Avenue corridor. Several of these plants have now closed, and most neighborhood residents work in jobs that employ less than 50 people.

Business establishments are primarily located along major thoroughfares in the Far EastSide neighborhood. The Pendleton Pike corridor is commercial in nature. Shadeland Avenue is a mixture of commercial and industrial establishments. Neighborhood commercial nodes are located at major intersections, such as 38th and Post Road and 38th and Mitthoeffer Road. Industrial development is located mainly in the south central portion of the neighborhood.

Indiana University found that there is an opportunity for growth in the Far EastSide retail market. This opportunity exists in the areas of gasoline and motor oil, vehicle expenditures other than vehicle purchases, entertainment, personal care products and services, household furnishings and equipment, and apparel and services. Far EastSide residents spent more money on these items than was actually spent in the neighborhood.

The Purdue University study found that businesses in the Far EastSide see the area as a good business location and are satisfied with the neighborhood people that they employ. Far EastSide residents that work in Far EastSide businesses primarily work in the lower-paying areas of retail and service. Higher-paying manufacturing and wholesale jobs tend to be held by people from outside the neighborhood. There is not a very strong link between employers and area residents.

There are a certain number of businesses at very visible locations in the Far EastSide that are dilapidated, vacant, or boarded. These are a concern to the people of the Far EastSide. Residents would like to see them either renovated and reused or removed.

Major Commercial and Industrial Development Goal: Reinforce existing commercial and industrial development in the Far EastSide neighborhood and use it to create a strong core of the neighborhood.

Objectives:

- A. Make improvements to all shopping areas in the neighborhood including Northeastwood Shopping Center, Raintree Shopping Center, Shadeland Avenue, and Pendleton Pike.
- B. Maintain current retail in the neighborhood.
- C. Attract additional small-scale retail to the neighborhood.
- D. Encourage high quality and non-franchise commercial and industrial establishments.
- E. Reuse or rehabilitate existing, vacant commercial and industrial structures.
- F. Improve maintenance of commercial and industrial property.
- G. Eliminate unauthorized street vendors.
- H. Attract high-wage paying employers to open businesses in existing vacant buildings.
- I. Provide a buffer between commercial and industrial uses and surrounding residential areas.

- J. Integrate commercial and industrial areas with the neighborhood by developing or reinforcing pedestrian, bus, and automobile circulation links.
- K. Reduce overall parking areas to more appropriate levels. Possibly enact a landscape ordinance to encourage attractive parking lots.
- L. Increase opportunities for minority owned and operated businesses.
- M. Provide additional grocery stores in the Far EastSide.
- N. Strengthen links between area business people, the police, and area institutions, such as churches, to deal with common problems such as crime.
- O. Create an association of area businesses to deal with common issues and strengthen links among the businesses and between the businesses and the rest of the community.
- P. Increase opportunities for small businesses in the Far EastSide.
- Q. Encourage area businesses with large parking lots to allow them to be used as park-and-ride locations

Projects and Programs:

Mid-Term-

1. Develop standards dealing with the appearance and safety of the area's commercial and industrial facilities. Develop a method of implementing them.

Description:

- Assemble a representative group of area business people and residents to develop standards of maintenance, security, safety, and general upkeep of commercial and industrial property.
- Establish an ongoing group to periodically review area businesses for compliance with the standards.
- Ask and assist property owners to comply with the standards.

Purpose:

- Improve the appearance of commercial and industrial areas.
- Improve safety in the neighborhood's commercial and industrial areas.

Short-Term-

2. Develop landscaping standards for parking lots at commercial and industrial establishments.

Description:

- Assemble a representative group of area business people and residents to develop standards for parking lots at commercial and industrial establishments.
- Establish an ongoing group to review area parking lots for compliance with the standards.
- Ask and assist property owners to comply with the standards.

Purpose:

- Improve the appearance of commercial and industrial areas.

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 5: COMMERCIAL AND INDUSTRIAL DEVELOPMENT

- COMMERCIAL**
-  Office
 -  Retail & Service
- INDUSTRIAL**
-  Light
 -  Heavy

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Division of Planning
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PARKS AND RECREATION

The need for more park land, programs, and facilities in the Far EastSide neighborhood is well documented. The neighborhood has been advocating for more parks in the area for a number of years. At numerous times in this process, the neighborhood has raised the issue of the need for more parks.

Residents would like to see their community improved as a place to live and work. They have mentioned at planning meetings that the following tasks are desirable:

- Improve the quality of life for neighborhood residents.
- Provide year-round, programmed, educational, and recreational activities for youth.
- Provide late night and weekend programs for youth.
- Bring programs to youth in their neighborhoods.
- Provide a public swimming pool.
- Provide more basketball courts.
- Provide programs for the full range of young people, from preschool children to young adults.

The Far EastSide neighborhood is deficient in terms of the availability of parks, when compared to the rest of Marion County. Typically, Indianapolis neighborhoods the size of the Far EastSide will have three categories of parks: sub-neighborhood (1/4-5 acres), neighborhood (5-25 acres), and community (25-100 acres).

The rest of Marion County has 29.2 acres of park land per 10,000 population. Twenty-two additional acres of park need to be provided for the Far EastSide neighborhood to have the same proportion of park land. A case can be made, though, for providing more park land in the neighborhood than is typical for Marion County based on the fact that there is a larger than average proportion of youth living in the area.

Also, Marion County ranks low in provision of park land when compared to other midwestern cities. When compared to Columbus, OH; Cincinnati, OH; St. Louis, MO; Kansas City, MO; and Minneapolis, MN, Indianapolis ranks the lowest in park acres per capita.

Parks are a key and necessary component of any growing community. The National Recreation and Park Association (NRPA) publication, *Recreation, Park and Open Space Standards and Guidelines*, lists standards describing how many park facilities to provide in neighborhoods. The Far EastSide neighborhood is deficient, as is Marion County, in park acreage when compared to NRPA standards. These standards are not meant to be rigidly followed, but they do give an indication of where acreage and facilities are lacking. Provided are ranges of recommended acres per capita that are desirable in the various categories of parks. Even using the low end of the ranges, the Far EastSide neighborhood has insufficient park space.

TABLE 3-NRPA MINIMUM STANDARDS FOR PARK ACREAGE APPLIED TO THE FAR EASTSIDE NEIGHBORHOOD




	Sub-Neighbor- hood Park ①	Neighborhood Park ②	Community Park ③	Total Park Acres
NRPA Standard in Acres	8	32	160	200
Existing Acres in Far EastSide	5	27	40	72

Source: National Recreation and Park Association and Indianapolis Marion County
Comprehensive Parks, Recreation and Open Space Plan

- ① ¼ - 5 acres
② 5 - 25 acres
③ 25 - 100 acres

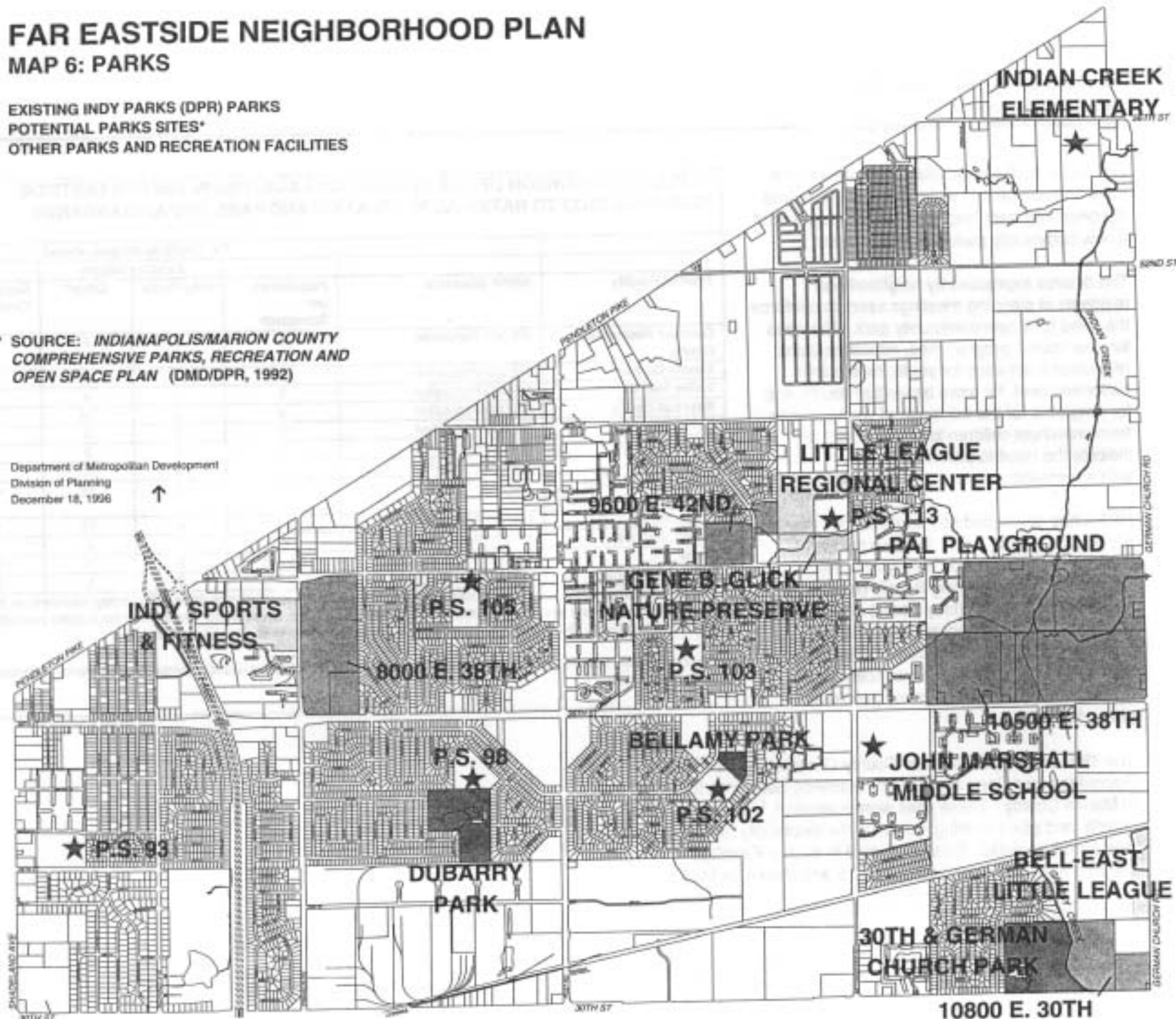
FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 6: PARKS

-  EXISTING INDY PARKS (DPR) PARKS
-  POTENTIAL PARKS SITES*
-  OTHER PARKS AND RECREATION FACILITIES

* SOURCE: INDIANAPOLIS/MARION COUNTY
COMPREHENSIVE PARKS, RECREATION AND
OPEN SPACE PLAN (DMD/DPR, 1992)

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December 18, 1998



*Far EastSide Neighborhood Plan
Parks and Recreation*

Looking at NRPA standards, the Far EastSide neighborhood seems especially low in the area of community park land, and the development of a new community park seems warranted.

The desires expressed by neighborhood residents at planning meetings seem to reinforce the need for a new community park. The need for year-round, programmed, educational and recreational activities for youth; for a public swimming pool; for more basketball courts; and for programs for the full range of young people, from preschool children to young adults, all indicate the need to provide a larger park; one with a recreation center.

NRPA has developed standards for facilities provided in parks. Table 4 shows the Far EastSide neighborhood compared to these standards. In the Existing Supply columns of this table, both public (Indy Parks) and private (Other) facilities are shown. Even though private facilities will satisfy some of the demand, they frequently have restricted access and therefore will not serve as many people as public facilities.

The 1992 *Indianapolis/Marion County Comprehensive Parks, Recreation and Open Space Plan* examined likely sites for new parks in Marion County. These sites were evaluated, based on a list of criteria, and given a rating indicating the desirability of acquiring the land for future parks. Sites evaluated in the Far EastSide neighborhood are described in Table 5 and shown on Map 6.

TABLE 4-COMPARISON OF THE RECREATION FACILITIES IN THE FAR EASTSIDE NEIGHBORHOOD TO NATIONAL RECREATION AND PARK (NRPA) STANDARDS

Type of Facility	NRPA Standard	Population per Standard=	Far EastSide Neighborhood		
			Indy Parks	Other*	Supply - Demand=
Outdoor Basketball Courts	1/5,000 Population	6	2	6	+2
Tennis Courts	1/2,000 Population	16	7	14	+5
Volley Ball Courts	1/5,000 Population	6	1	4	-1
Baseball Fields	1/5,000 Population	6	2	14	+10
Softball Fields	1/5,000 Population	6	5	3	+2
Football Fields	1/20,000 Population	2	2	2	+2
Soccer Fields	1/10,000 Population	3	2	0	-1
Outdoor Swimming Pools	1/20,000 Population	2	0	18	+16
Playgrounds	1/2,500 Population	13	4	13	+4
Picnic Shelters	1/5,000 Population	6	1	4	-1
Trails	1 Mile/7,500 Population	4 Miles	0	0	-4 Miles
Recreation Centers	1/50,000 Population	2/3	0	0	-2/3

*Other represents facilities that are privately owned. Use of private recreation facilities is frequently restricted, so they may not serve as many people as a similar public facility. Two of the tennis courts and three of the outdoor basketball courts are at schools. All eighteen swimming pools are at apartment or condominium complexes.

Source: National Recreation and Park Association and *Indianapolis/Marion County Comprehensive Parks, Recreation and Open Space Plan*

TABLE 5-POTENTIAL FAR EASTSIDE NEIGHBORHOOD PARK SITES

Address	Acreage	Rating	Comments
10800 E. 30th Street	32	High	This property is adjacent to 30th and German Church Park.
10500 E. 38th Street	191	Medium	A portion of this property is presently being developed as mixed use.
8000 E. 38th Street	70	Medium	
9600 E. 42nd Street	16	Medium	This property is proposed for development as a new church for Mt. Carmel Baptist that also intends to develop facilities for baseball, soccer, tennis, basketball, and a gymnasium.

Source: Indianapolis/Marion County Comprehensive Parks, Recreation and Open Space Plan

The description of a community park taken from *Indianapolis/Marion County Comprehensive Parks, Recreation and Open Space Plan* is as follows:

Community Parks: The community park is designed to provide a major recreation area that can withstand intensive use, yet still contain open space and natural areas. Community parks should provide a great number and variety of recreation opportunities and be the primary public service point for programs and facilities. They should reflect the cultural and historic aspect of the community and the natural character of the land: the terrain, trees, grass, and water.

Size- 25-100 acres

Service Area- Several neighborhoods

Character- Ideally a combination of level, open spaces for active play and more rolling, shady areas for passive recreation.

Location: Centrally located with good access to several neighborhoods and serviced by public transportation. May be located adjacent to a public school in order to share facilities.

Typical Facilities:

1. Picnicking and Picnic Shelters
2. Conventional and Creative Playgrounds
3. Playfields (Outdoor, Games, and Sports)
4. Play Courts (Tennis, Basketball, and Volleyball)
5. Recreation Centers
6. Trails for Hiking and Bicycling
7. Water Recreation (Swimming, Fishing, and Canoeing)
8. Open Space
9. Golf
10. Miscellaneous Facilities

There is a spirit in the Far EastSide neighborhood that brings people together to meet the area's needs. This spirit is exemplified in three recent projects in the area.

Little League Regional Center-Through a donation of land from Gene B. Glick, the development of the eleven diamond, Little League Regional Center was made possible.

Gene B. Glick Nature Preserve-Adjacent to the Little League Regional Center, is a nature preserve on land recently made available for this use by Mr. Glick.

*Far EastSide Neighborhood Plan
Parks and Recreation*

TABLE 6-FAR EASTSIDE NEIGHBORHOOD EXISTING PARKS				
Name of Park by Type	Address	Acreage	Facilities	Comments
Community Park				
30th and German Church Park	10510 E. 30th Street	40	3-Softball Diamonds, 1-Basketball Court, 4-Tennis Courts, 1-Volley Ball Court, and 1-Playground	The Girl Scouts have planted native trees in the park. A portion of the Greenways Plan calling for a trail link between the park and John Marshall on Grassy Creek is being studied.
Neighborhood Park				
Dubarry Park	3688 Dubarry Road	27	Pond, 1-Football Field, 2-Softball Diamonds, 1-Basketball Court, 3-Tennis Courts, 2-Playgrounds, and Picnicking with Shelter	The tennis and basketball courts are being renovated. A new picnic shelter and new playground structure have been added recently.
Sub-Neighborhood Park				
Bellamy Park	9501 E. 36th Place	5	1-Soccer Field, 1-Football Field, and 1-Playground	
Source: Indianapolis/Marion County Comprehensive Parks, Recreation and Open Space Plan				

purchasing the property and developing a park. Not only was community support for the park gained, but also financial support. Money has been contributed by residents and businesses of the Far EastSide. The Indianapolis Foundation has made a commitment of up to \$150,000, and the Heritage Trust has made a tentative commitment of \$210,000. When this site is developed as a park, the neighborhood will be a lot closer to meeting their demand for park space, according to NRPA standards.

Major Parks, Recreation, and Open Space Goal: Create and maintain a parks recreation and

open space system that provides for the needs, in terms of facilities and programs, of the Far EastSide neighborhood and positively contributes to the overall image of the neighborhood.

Objectives:

- A. Maintain natural systems, such as streams and wooded areas, in new developments.
- B. Upgrade existing parks to meet the needs of existing and proposed user groups.

Marion County Sheriff's Police Athletic League Playground-In 1994 the Sheriff's Department, the Sheriff's PAL Club, the congregation of Bell's Chapel Church, area residents, the Central Regional Little League Baseball staff, the Seabees of N.M.C.B.-26, Indianapolis Youth and Family Services, Gene Glick, and the Department of Parks and Recreation participated in construction of a new community playground at Bell's Chapel Church. This playground provides a much needed place for young children to play in the neighborhood.

Recently the Far EastSide Community Development Council was given the opportunity to purchase an 88 acre site at 3600 North German Church Road for use as a park. The FESDC spent several months in making certain that the community supported the concept of

- C. Create a community space in the proposed high density development at 38th Street and Post Road.
- D. Provide a diversity of active and passive recreational areas and programs.
- E. Reinforce streets and pedestrianways throughout the neighborhood with a hierarchical street tree planting program.
- F. Provide a new community park in the Far EastSide neighborhood.
- G. Provide a public swimming pool in the neighborhood.
- H. Develop a community activity center, such as a Boys and Girls Club or YMCA.
- I. Provide adequate recreational facilities and programs for youth and seniors, such as a swimming pool, gardens, and greenhouses.
- J. Provide facilities and programs for year-round educational and recreational activities for youth.
- K. Improve playground equipment at area schools and make certain that children may use equipment off school hours.
- L. Ensure that existing and proposed park facilities have adequate programming to meet the needs of neighborhood residents.
- M. Provide adequate lighting and security in Far EastSide parks.
- N. Provide transportation, if necessary, to ensure that residents, especially youth and seniors, can have access to park programs.

Projects and Programs:

Long-Term-

1. Develop a YMCA in the neighborhood.

Description:

- Develop a full service YMCA in the neighborhood in a new or existing building.

Purpose:

- Provide recreational alternatives for neighborhood residents.

2. Develop Boys and Girls Club in the neighborhood.

Description:

- Develop a full service Boys and Girls Club in the neighborhood in a new or existing building.

Purpose:

- Provide recreational alternatives for neighborhood residents.

3. Develop a DPR Family Recreation Center.

Description:

- Develop a DPR Family Recreation Center in the neighborhood in a new or existing building.

Purpose:

- Provide recreational alternatives for neighborhood residents.

4. Provide a new community park in the Far EastSide neighborhood.

Description:

- Develop a new park that provides a major recreation area that can withstand intensive use, yet still contain open space and natural areas.
- Provide a variety of recreation facilities and programs.
- Facilities and programs for the following activities are recommended based on the suggestions of area residents and a review of facility standards: basketball, volleyball, baseball, soccer, swimming, picnicking, hiking, playground, and family recreation center.
- Reflect the cultural and historic aspect of the community and the natural character of the land: the terrain, trees, grass, and water.
- Select a site that can meet the following qualification: 25-100 acres in size; is ideally a combination of level, open spaces for active play and more rolling, shady areas for passive recreation; and centrally located with good access to several neighborhoods and serviced by public transportation.
- The site may be located adjacent to a public school in order to share facilities.

Purpose:

- Improve the quality of life for neighborhood residents.
- Provide year-round, programmed, educational, and recreational activities for youth.
- Provide late night and weekend programs for youth.
- Bring programs to youth in the neighborhood.
- Provide a public swimming pool.
- Provide more basketball courts.
- Provide free activities for youth.
- Provide programs for the full range of young people, from preschool children to young adults.

5. Develop a neighborhood park on the southeast corner of 46th and Post Road.

Description:

- Develop a park with facilities such as a botanical garden, greenhouses, an amphitheater, and fitness trail on the mostly vacant property on the southeast corner of 46th and Post Road.

Purpose:

- Provide additional park space in the neighborhood.
- Take advantage of a key, mostly vacant site in the neighborhood.

6. Develop an indoor public swimming pool in conjunction with John Marshall Middle School.

Description:

- Develop an indoor swimming pool at John Marshall similar to what has been done at other public schools in Marion County.

Purpose:

- Reinforce the school as the focus of community activities.
- Allow swimming to be added to the curriculum at John Marshall.
- Provide a public swimming pool for the neighborhood.

7. Develop an outdoor public swimming pool in the neighborhood.

Description:

- Develop a public swimming pool in one of the area parks, possibly in a new community park.

Purpose:

- Provide a public swimming pool for the neighborhood.

Mid-Term-

8. Reuse a vacant neighborhood building as a youth center.

Description:

- Purchase and reuse an existing vacant building as a recreation and education center for youth in the area.
- The facility may be jointly developed with an agency such as the Boys and Girls Club.
- Especially focus on serving youth in surrounding apartment complexes.

Purpose:

- Provide recreational and educational opportunities for area youth.
- Provide youth with an alternative to "hanging around" in neighborhood shopping areas.

9. Improve playground equipment at area schools and make certain that children may use equipment after school hours.

Description:

- Work with local schools to survey existing school playgrounds to improve them, where necessary, and make them more readily accessible to area youth after school hours.

Purpose:

- Provide recreational opportunities for area youth.

Short-Term-

10. Develop community gardens.

Description:

- Select a location in the neighborhood that can be made available to neighborhood residents to start community gardens.
- Establish a program to provide donated seeds and loaned tools to help area residents in developing gardens.
- Raise food crops that can be used to feed people in the area such as at an annual harvest dinner.

Purpose:

- Bring residents together in a community project.
- Provide flowers for planting at key locations throughout the community such as the entryways described above.
- Provide a program that can involve youth and adults working together, over time, on a task that is aimed at improving the community.

11. Develop a street tree planting program.

Description:

- Acquire trees through purchase and donation.
- Form a group of area residents and business volunteers to plant trees.
- Plant trees along major streets and at major intersections.
- Plant trees at key locations throughout the community such as the entryways described above.

Purpose:

- Bring residents together in a community project.
- Improve the appearance of the community.
- Provide a program that can involve youth and adults working together, over time, on a task that is aimed at improving the community.
- Provide opportunity for environmental education and awareness.
- Replace trees that have been lost.

INFRASTRUCTURE

The Far EastSide neighborhood is generally well served by all the major utilities. Indiana University found, though, that the area bounded by Pendleton Pike and 56th Street on the north, German Church Road on the east, 46th Street on the south, and Mitthoeffer Road on the west generally lacks storm and sanitary sewer systems, gas lines, and water lines. Much of the prime development land in the Far EastSide neighborhood is located in this area, so it is important that impediments to the growth of the area be removed.

Soil types in this area are not conducive to the use of septic systems. The type of soil also creates surface drainage problems. The lack of sewer, gas, and water may limit new development in the area. Fortunately, feeder lines for all major utilities are conveniently located in the area. It will be possible, without too much difficulty, to extend the necessary utility lines to support new development in this area. Much of this extension of lines is planned to occur in the next two to five years.

The area to the east and west of Indian Creek is in a floodplain that may hinder some types of development. Poor drainage in parts of the neighborhood was also a topic of discussion at one of the public meetings held as a part of the planning process.

Another issue that was raised as a part of public meetings is that much of the newer housing developments in the neighborhood lack streetlights. This is seen as a safety problem. The City does not have the available funds to rent new streetlights, so any streetlights added to the system need to be rented by the property owners.

Also raised in public meetings is the fact that much of the neighborhood lacks sidewalks. This is also seen as a safety problem, especially for children of the neighborhood. Sidewalks make it easier for people to

walk in the neighborhood. Walking and talking with neighbors can be an enjoyable social experience. As a part of the Charrette, there was much discussion of a system of sidewalks and trails that would help bring people in the neighborhood together. When the community ranked the projects and programs, this concept received significant support.

A 1994 "windshield survey" of the neighborhood found that most of the buildings in the neighborhood were either in excellent condition or needed only superficial repairs. Most of the buildings in the neighborhood that need minor rehabilitation, major rehabilitation, or are dilapidated are located in apartment complexes near 38th and Post Road or 46th and Post Road. Even though building conditions in the neighborhood are generally very good, the few pockets of bad building conditions are a detriment to the areas that immediately surround them. A code compliance committee was recently formed in the neighborhood to deal with this type of issue.

Major Infrastructure Goal: Provide necessary infrastructure to support existing and future development in the Far EastSide neighborhood.

Objectives:

- A. Create pedestrian pathways or sidewalks to connect residential areas with commercial and civic areas.
- B. Provide more streetlights in the Far EastSide neighborhood.
- C. Eliminate flooding and improve drainage in the neighborhood.
- D. Make improvements to roadways, intersections, and bridges to allow for the safe circulation of automobile traffic.

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 7: INFRASTRUCTURE

- LACKING STORM AND SANITARY SEWER SYSTEMS, GAS LINES, AND WATER LINES
- RESIDENTIAL AREAS LACKING STREET LIGHTS
- FLOODWAYS
- FLOODPLAINS

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Infrastructure

- E. Provide sewer mains where necessary to adequately serve existing and proposed development.
- F. Provide enough sidewalks in the area to link major pedestrian destinations, especially in areas where children frequently walk.
- G. Ensure that new developments are built with the necessary streetlights and sidewalks.

Projects and Programs:

Mid-Term-

Increase the number of streetlights on major roadways and at major intersections in the neighborhood that are inadequately lighted.

Description:

- Prepare a list of locations in the neighborhood where streetlights should be added, as they become available. Include on the list the following locations that the neighborhood has already identified:
 - a. 38th and Mitthoeffer Road.
 - b. Mitthoeffer Road between 42nd and 46th streets.
 - c. Mitthoeffer Road between 30th and 38th streets.
 - d. 38th and Post Road.
 - e. 42nd and Mitthoeffer Road.
- Solicit resident and business groups in the area that are willing to take the responsibility for renting additional streetlights in the area.

Purpose:

- To improve safety in the neighborhood.

Note: Additional projects and programs dealing with sidewalks and roadways are listed in the Transportation section of this plan.

A process is already underway to provide adequate drainage and utilities to the undeveloped portions of the neighborhood.



8 – Youth at the Proposed Park Site at 3600 N. Mitthoeffer Road

ECOLOGY

There was much discussion in the design Charrette of preserving and protecting stream corridors, wetlands, and wooded areas. Recommendations were made, as a part of the Charrette process, to look at these areas as amenities and possible elements that could be improved to enhance the quality of life in the neighborhood.

Indian Creek and its tributaries pass through the northeast portion of the neighborhood. Grassy Creek passes through the southeast portion of the neighborhood. Its headwaters are located near Amber Woods on Mitthoeffer Road. Grassy Creek forms a wetland on the property at 3600 North Mitthoeffer Road.

There is evidence of wild animals in the neighborhood, especially on vacant and wooded sites. Deer, raccoons, beavers, herons, Canadian geese, and other birds all have either left tracks or been sighted in the Far EastSide neighborhood.

There are a few remaining wood lots in the neighborhood. The Gene B. Glick Nature Preserve is located near 42nd and Mitthoeffer Road. Other wooded areas are scattered throughout the neighborhood.

Residents discussed the possibility of developing paths along waterways that will link together the various parts of the neighborhood. Any natural amenities, such as wetlands and wooded areas, should be preserved, if possible, to provide habitat for wildlife and provide some relief from the densely populated residential portions of the neighborhood.

Major Ecology Goal: Preserve and use in a positive way, where possible, existing ecological resources in the Far EastSide.

Objective:

Maintain natural systems, for example streams and wooded areas, in new developments.

Projects and Programs:

Mid-Term-

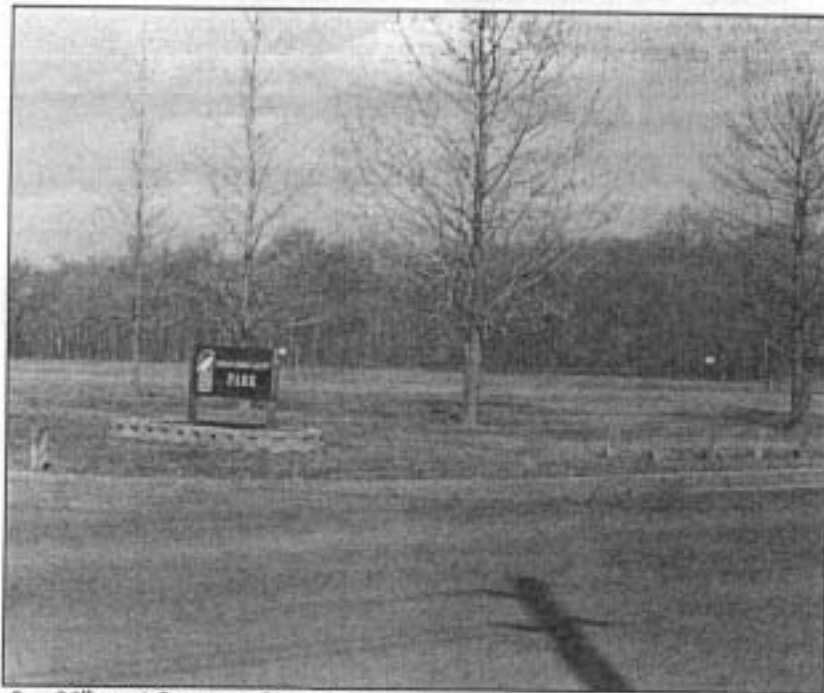
Preserve and enhance, as much as possible, stream corridors, wetlands, and wooded areas in the Far EastSide.

Description:

- Use stream corridors as linear parks.
- Preserve woodlands
- Preserve wetlands.

Purpose:

- Protect wildlife habitats.
- Provide open space and recreational areas.



9 - 30th and German Church Park



10 - Proposed Park Site at 3600 N. Mitthoeffer Road

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 8: NATURAL FEATURES

- STREAMS, CREEKS, LAKES, PONDS
- WETLANDS
- WOODED AREAS

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Division of Planning
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HUMAN SERVICES

Institutions and agencies that serve the needs of area residents play an important role in the Far EastSide. The Greenleaf Community Center, located in a storefront at the Raintree Shopping Center, provides for many of the human services needs of area residents. Greenleaf Community Center is a Community Centers of Indianapolis facility that opened in 1986. Its mission is to provide effective social services and programs for the cultural, physical, educational, and social welfare of the community. The primary programs of Greenleaf are access services and a daily program for senior citizens. The access program assists individuals and families by linking them with available community resources. The senior program seeks to prevent the social isolation that often affects seniors. It offers a program of recreation, field trips, exercise, and social activities for participants. Transportation and a hot lunch program are provided.

Greenleaf provides space for programs not directly provided by Greenleaf, in order that they may be accessible to area residents. These include GED and English as a second language classes, Narcotics Anonymous meetings, Parents Anonymous meetings, summer youth programs, a family therapist, income tax preparation for low income families, career counseling, and programs from the Purdue Cooperative Extension of Marion County.

The Far EastSide Community Development Council (FESCDC) is a 1992 outgrowth of the Interagency Roundtable of Greenleaf Community Center. The Purdue Cooperative Extension also played a role in creating the FESCDC. This group works to enhance the well-being and development of Far EastSide residents through efficient use of existing resources, creation of innovative programs, and interagency cooperative efforts. As a part of changes made in 1992, neighborhood residents were added as participants.

In 1994 the FESCDC completed a needs assessment that became a critical part of the NPI/PEW grant application. The FESCDC has developed summer programs for children, provided educational opportunities for child care providers, held job fairs, and conducted forums to address public transit issues. Many agencies are participants in the FESCDC.

The FESCDC needs assessment pointed out the need for additional healthcare in the Far EastSide. For this reason, the Marion County Health and Hospital Corporation decided to construct a new health center in the area. Construction of this facility is now underway.

Bridges to Success (BTS) is a collaborative effort of Indianapolis Public Schools, United Way, City of Indianapolis, area businesses, and human service providers. John Marshall Middle School has joined forces with a number of service agencies to match agency offerings with student needs to address issues such as illness, abuse, peer pressure, divorce, anger management, drugs, and gangs. The purpose of BTS is to see that more students graduate from high school and to support families through the expansion and integration of health, recreation, and human services, thereby strengthening communities.

Beginning in November of 1994, BTS hosted Community Night at John Marshall Middle School. The objective of Community Night has been to share the facilities at John Marshall with the surrounding neighborhood. Community Night promotes family life and youth development through the offering of many traditional and new programs.

The Purdue Cooperative Extension of Marion County is an arm of Purdue University that has the primary mission of bringing research-based knowledge to the people to help them solve problems. It offers services in youth development, community development,

family services, and agriculture. An Extension staff member has been working in the Far EastSide area for over three years.

One area of possible need that Indiana University discovered in their study of the area is that there is a high proportion of single parent households in the neighborhood. One-third of the households in the Far EastSide neighborhood are headed by single parents. Countywide a little over one-quarter of the households are headed by single parents. Single parent households have a greater need for daycare centers, health benefits, and ride sharing programs.

The need for more daycare centers in the Far EastSide is a major concern. Martin University found that a majority of people they interviewed expressed a desire for more reliable child care providers in the neighborhood.

The Far EastSide has 16 churches that provide service to area residents. Several churches in the neighborhood offer extensive youth programs.

Major Human Services Goal: Ensure that the necessary agencies are present to provide quality human services to meet the needs of the residents of the Far EastSide neighborhood both now and in the future.

Objective:

Develop the necessary community facilities in the Far EastSide neighborhood.

Projects and Programs:

Long-Term-

Develop a new combined Greenleaf Community Center and Far EastSide Community Development Council office.

Description:

- Develop a full service neighborhood center that combines the Greenleaf Community Center and the Far EastSide Community Development Council office in a new or existing building.

Purpose:

- Provide a "one stop" location for dealing with neighborhood and human service issues.
- Provide comprehensive community development services according to the needs of the community, such as:
 - a) Senior activities
 - b) Wellness programs
 - c) Family support programs
 - d) Child care
 - e) Employment training
 - f) Job development
 - g) Job placement
 - h) Crisis intervention
 - i) Information and referral services
 - j) Volunteer opportunities
 - k) Summer program activities
 - l) Emergency services to families
 - m) Any other service defined by or requested by the community

ARTS

During the Charrette conducted by Ball State University, the concept of developing an art museum and sculpture garden was suggested and discussed. Residents were interested in the concept. Such a facility could provide education to area residents, serve as an attraction in the area, and help to improve the overall quality of life in the area.

Major Arts Goal: Ensure that the arts continue to play an important role in the lives of the residents of the Far EastSide neighborhood.

Objective:

Use arts programs to bring area residents together to discuss issues that affect the community.

Projects and Programs:

Long-Term-

Establish an art museum and sculpture garden, or similar facility, in the neighborhood.

Description:

- Identify a local need for a type of art museum, or similar facility, that is not being met elsewhere in the Indianapolis area. Seek to establish exhibit facilities in the Far EastSide neighborhood, either in a new or existing building.

Purpose:

- Provide an attraction in the area.
- Provide an educational experience for area residents.

Short-Term-

Investigate the possibility of developing an annual arts and crafts festival in the Far EastSide.

Description:

- Develop an arts and crafts festival that involves neighborhood artists.

Purpose:

- Provide an attraction in the area.
- Provide an educational experience for area residents.



11 – Neighborhood Youth at FESCDC Annual Meeting

EDUCATION

The Far EastSide neighborhood has six Indianapolis Public Schools elementary schools, one Lawrence Township elementary school, one private elementary school, and one IPS middle school. Census information shows that, similar to the rest of Marion County, a little over three-quarters of Far EastSide residents 18 years and older have high school diplomas. A smaller percentage of the Far EastSide population has post-secondary degrees when compared to Marion County population. Further study will be necessary to determine if not as many Far EastSide residents are going to college or if Far EastSide residents are moving out of the neighborhood after college.

One of the purposes of the Martin University survey of apartment residents was to determine if they have educational and training needs that are currently not being met. A vast majority of people responding to the survey had an interest in furthering their education, with most having a preference for vocational and technical training. Most respondents reacted favorably when asked if they would attend classes offered in the Far EastSide.

Far EastSide residents expressed frustration with multiple school districts in the neighborhood. Students from the Far EastSide attend IPS schools on the other side of the school district. Other students attend various Warren Township schools.

Situations exist where children living in the same apartment complex attend different schools. Many people remember when the neighborhood school was the focus of the community and wish it could be that way again.

Community Night at John Marshall, which was initiated in 1994, has been successful at providing a wide range of activities for many age

groups. No matter what school children attend, they can participate with their neighbors in this community event. This program has made progress towards reestablishing the neighborhood school as the center of the community.

Some Far EastSide high school students are bused great distances to facilitate racial balance. Indianapolis Public Schools is currently studying a school feeder system that maintains racial balance, but allows children to attend school closer to home. It is hoped that this feeder system, if implemented, will go a long way to reestablishing more community-based schools.

A major concern to residents of the neighborhood is the fact that the Far EastSide has no library of its own. At one time, there was a branch library in the Northeastwood Shopping Center. With construction of the Lawrence Library and the Warren Library, the branch in Northeastwood was closed. Far EastSide residents feel that it is a top priority to reestablish a branch in the neighborhood. A new library will not only provide books and information, it will provide an easily accessible place for area people without cars, especially youth, to meet and to study.

Currently the Indianapolis-Marion County Library Board is investigating the possibility of building a branch in the Far EastSide.

Major Education Goal: Strengthen the links between the schools and the Far EastSide neighborhood to ensure that education retains its place of importance in the community.

Objectives:

A. Develop neighborhood-based schools.

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Education

- B. Provide educational opportunities that bring youth and seniors together.
- C. Support the Indianapolis-Marion County Library Board's efforts to build a branch library in the neighborhood.
- D. Increase the number of college graduates among neighborhood residents.
- E. Provide more opportunities for continuing education in the Far EastSide neighborhood.

Projects and Programs:

Long-Term-

- 1. Work with IPS to develop a school feeder program that allows children to go to school closer to home.

Description:

- IPS is in the process of developing such a system, now.

Purpose:

- Provide more neighborhood-based schools.

- 2. Develop a branch library in the Far EastSide neighborhood.

Description:

- Work with the library to develop one of the following:
 - a. A branch library.
 - b. A combination library and computer education center in the neighborhood.
 - c. A library in conjunction with John Marshall Middle School.

Purpose:

- To provide educational opportunities in the neighborhood.
- To provide area students with a place to study.

Short-Term-

- 3. Develop programs that encourage neighborhood residents to attend and graduate from college.

Description:

- Determine the barriers to increasing the number of neighborhood residents that attend college.
- Work to remove these barriers.

Purpose:

- Possible improvement of quality of life of neighborhood residents.
- 4. Develop affordable continuing education programs to meet the needs of area residents.

Description:

- Determine the continuing education needs of area residents.
- Determine if programs may be provided through existing area institutions.

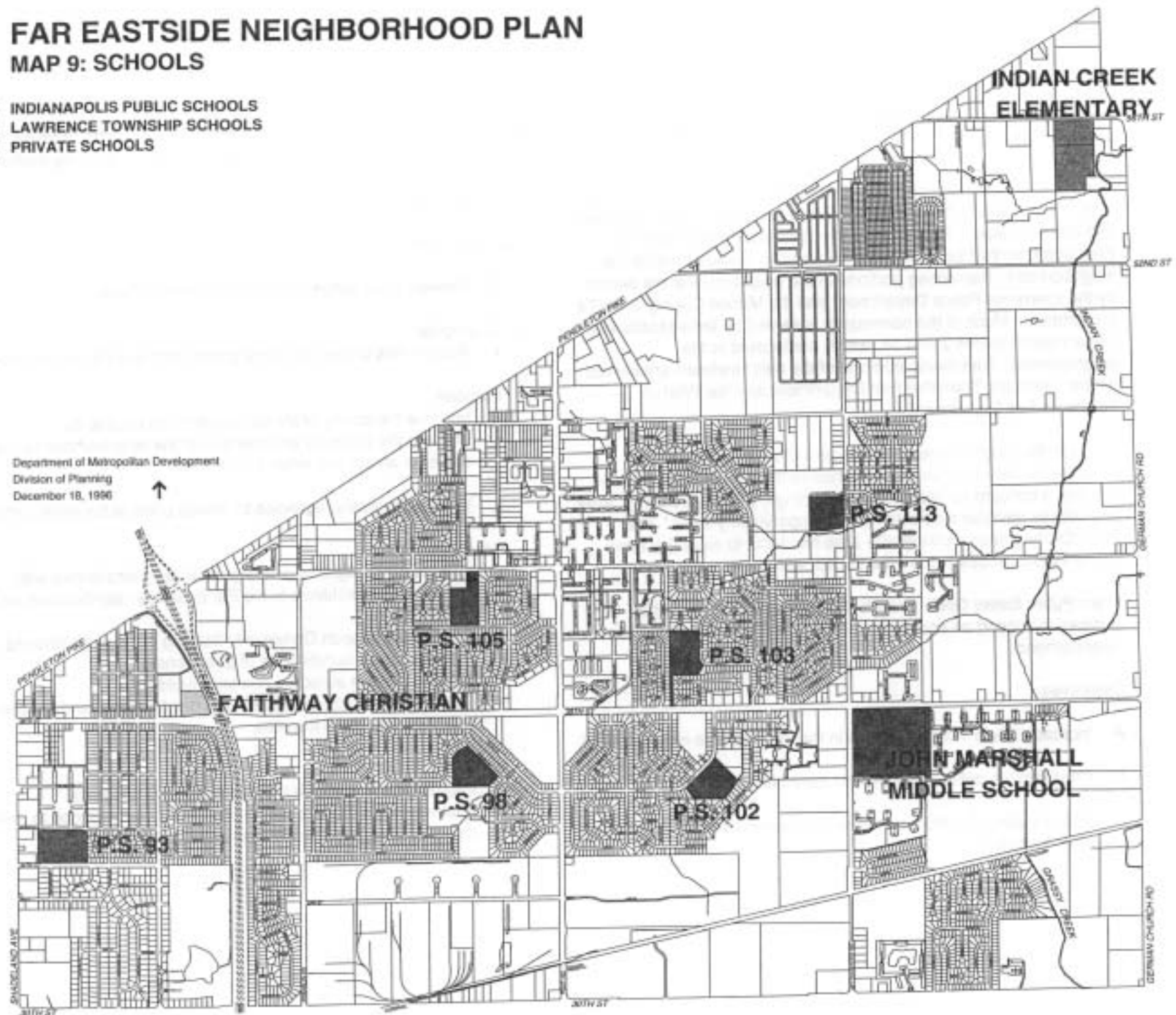
Purpose:

- Possible improvement of quality of life of neighborhood residents

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 9: SCHOOLS

- INDIANAPOLIS PUBLIC SCHOOLS
- LAWRENCE TOWNSHIP SCHOOLS
- PRIVATE SCHOOLS



PUBLIC SAFETY

The Far EastSide neighborhood is served by three different police departments and by three different fire departments. Map 10 shows that the Indianapolis Police Department serves much of the Far EastSide from its East District office, which is located outside the neighborhood. Remaining portions of the neighborhood are served by the Lawrence Police Department and the Marion County Sheriff's Department. Much of the community is served by Indianapolis Fire Department Stations 2 and 34, which are located in the neighborhood. Remaining portions of the neighborhood are served by the Lawrence Township Fire Department and the Warren Township Fire Department.

Safety in the neighborhood is a concern of area residents and businesses. When surveyed, both residents and business people mention a concern for reducing crime, gangs, and drug activity. Area businesses mention a concern with unsupervised youths. The FESCDC has been working with area residents to establish more Crime Watch groups in the area to deal with these concerns.

Major Public Safety Goal: Provide the necessary level of public services to support an acceptable quality of life in the Far EastSide neighborhood.

Objectives:

- A. Increase Crime Watch activities in the Far EastSide neighborhood.
- B. Provide more police patrols in the neighborhood.
- C. Reduce gang and drug activity and, in general, reduce crime in the neighborhood.

- D. Take steps to ensure that people feel safe in the neighborhood.

Projects and Programs:

Long-Term-

1. Provide more police patrols in the neighborhood.

Description:

- Raise funds to hire additional police patrols in the neighborhood.

Purpose:

- Improve the quality of life for neighborhood residents.
- Improve the business environment of the neighborhood to make it easier to attract and retain businesses.

2. Work with existing agencies to reduce crime in the neighborhood.

Description:

- Use existing programs or design new programs to deal with specific crime problems in the Far EastSide neighborhood, where necessary.
- Continue to support Community Policing in the neighborhood.
- Provide natural surveillance of public areas.
- Work to remove attractive nuisance buildings.
- Continue the dialogue between the neighborhood and the police agencies that serve the area.

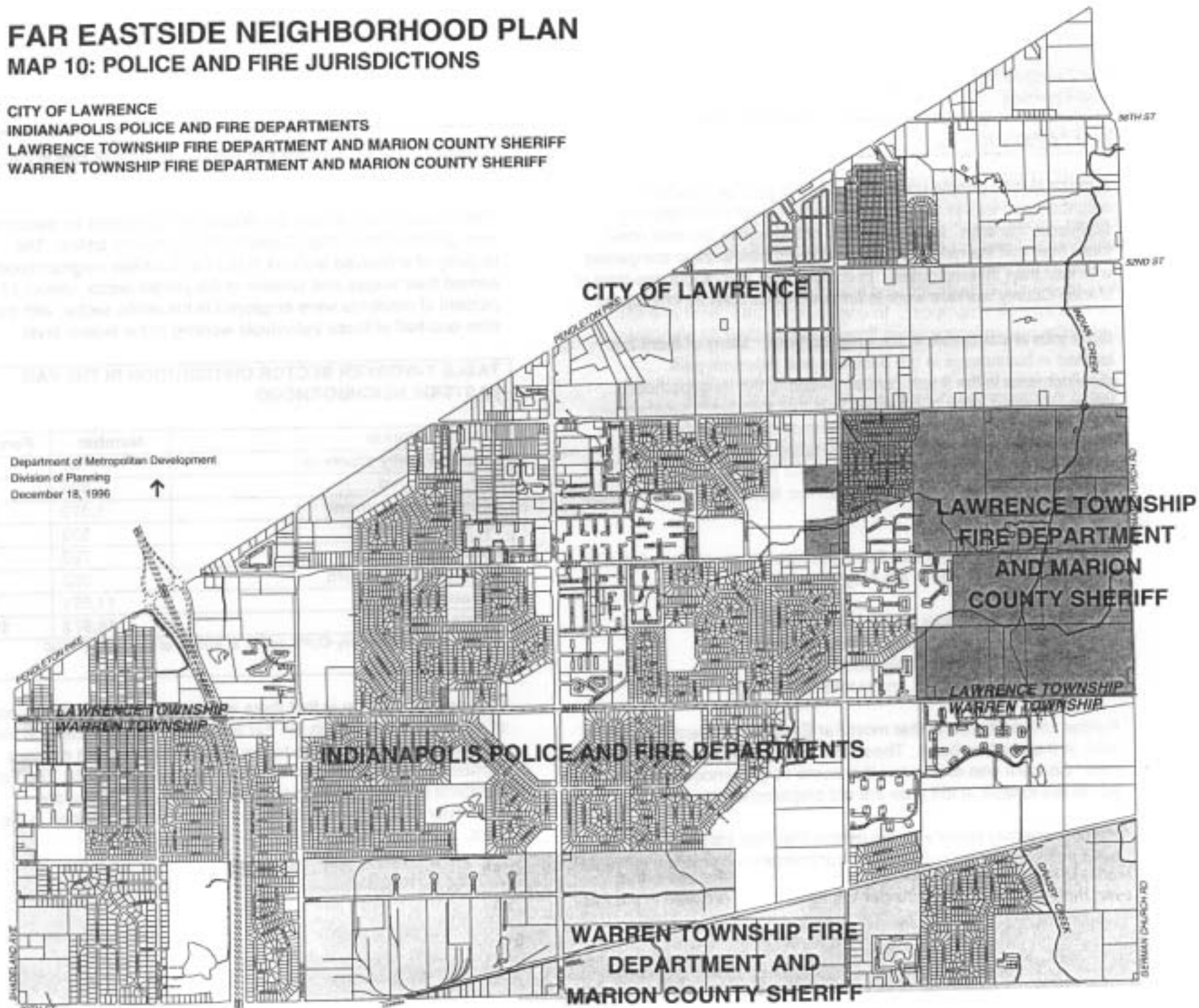
Purpose:

- Improve the quality of life for neighborhood residents.
- Improve the business environment of the neighborhood to make it easier to attract and retain businesses.

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 10: POLICE AND FIRE JURISDICTIONS

-  CITY OF LAWRENCE
-  INDIANAPOLIS POLICE AND FIRE DEPARTMENTS
-  LAWRENCE TOWNSHIP FIRE DEPARTMENT AND MARION COUNTY SHERIFF
-  WARREN TOWNSHIP FIRE DEPARTMENT AND MARION COUNTY SHERIFF



JOB CREATION

A major reason people originally moved to the Far EastSide neighborhood was to be near their work in large manufacturing facilities in the area. Ironically many of these jobs are now gone. More than half the neighborhood's workers now work in companies with less than 50 employees. In comparison, only about one-third of Marion County workers work in firms with less than 50 employees.

Good jobs are available in the neighborhood. Many of them are located in businesses in the business and industrial park developments in the south central portion of the neighborhood. When surveyed, area businesses said that they were satisfied with the neighborhood people that they employ and would be willing to target local residents for hiring if they could identify prospective employees. The FESCDC has sponsored job fairs for local businesses and residents to deal with this issue. They will continue to do so in the future.

Indiana University found that there is a high concentration of jobs in the following categories in the neighborhood:

- Construction-Special Trade Contractors
- Manufacturing-Fabricated Metal Products
- Wholesale Trade-Durable Goods
- Retail Trade-Furniture and Home Furnishings

Purdue University found that most Far EastSide residents do not work in the neighborhood. Those that do primarily work in low-paying jobs. Concern was expressed that some neighborhood residents that would like to work in the area are not prepared for the jobs.

Martin University found with the people that they interviewed, that even though most do not consider transportation a problem in the Far

EastSide, most were highly interested in working at jobs in the neighborhood.

The following table shows the distribution of workers by sector using data gathered from 1990 Census block summary tables. The majority of employed workers in the Far EastSide neighborhood earned their wages and salaries in the private sector. About 17 percent of residents were employed in the public sector, with more than one-half of these individuals working at the federal level.

TABLE 7-WORKER SECTOR DISTRIBUTION IN THE FAR EASTSIDE NEIGHBORHOOD

Class of Worker	Number	Percent
Unpaid Family Workers	47	0.3
Self-Employed	501	3.2
Federal Government	1,379	8.8
State Government	533	3.4
Local Government	799	5.1
Private Not-for-Profit	862	5.5
Private for Profit	11,551	73.7
Totals	15,672	100.0

Source: Indiana University-CUPE and U. S. Bureau of the Census: 1990

One area of concern is that there is a higher than average proportion of single parents living in the Far EastSide. Those wanting to work may have to overcome the hurdle of locating adequate daycare facilities in the neighborhood before they can take a job. The Far EastSide is underserved in the area of daycare. Efforts are underway to assist more facilities in becoming established in the area.

Major Job Creation Goal: Provide an adequate amount of good jobs in the Far EastSide neighborhood so that those living in the neighborhood can work in the neighborhood if they so desire.

Objectives:

- A. Attract new, high wage paying employers to existing vacant buildings.
- B. Increase job opportunities through job training programs.
- C. Encourage and assist businesses to hire locally.
- D. Provide day care and after school programs in the neighborhood to meet the needs of parents that want to work.
- E. Continue to provide job fairs in the Far EastSide neighborhood.

Projects and Programs:

Mid-Term-

Design and administer programs to increase job opportunities for neighborhood residents.

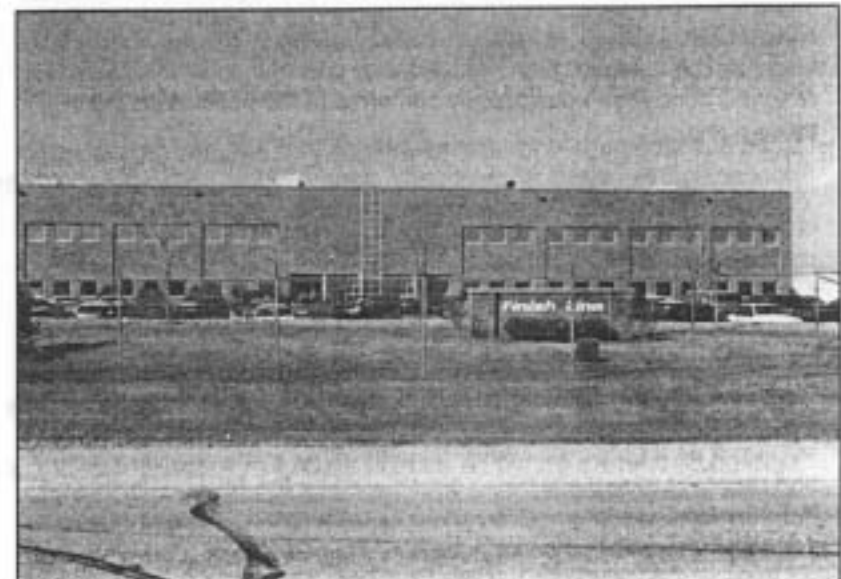
Description:

- Work with Lawrence, Warren, and IPS school districts to create interest and participation in area employment programs.
- Provide apprenticeship programs with "special trades" contractors, with explicit training for licensing and permitting into specific trades (for example, electricians, plumbers, plasterers, etc.).
- Provide internships for high school students with warehousing and contracting suppliers.

- Provide school-to-work programs with area middle school and high school students in selected work settings.
- Provide job fairs annually in the Far EastSide neighborhood.
- Foster an ongoing dialogue between neighborhood residents and area businesses.

Purpose:

- Ensure those neighborhood residents that want to work in the area have the opportunity to work.
- Improve the quality of life of neighborhood residents without jobs.
- Provide employment for neighborhood youth.



12 - Far EastSide Business

LAND USE PLAN

The Land Use Plan for the Far EastSide neighborhood is designed as an update to portions of the Comprehensive Plan of Marion County for Lawrence and Warren townships and any neighborhood or corridor plans for the area. The Lawrence and Warren township plans were adopted by the Metropolitan Development Commission (MDC) in 1992. The recommendations of these plans for the Far EastSide neighborhood are shown on Map 11. Policies from these plans are shown below. These policies provide a good framework within in which to develop a land use plan for the Far EastSide.

Other plans previously adopted by the MDC that have an impact on the Far EastSide neighborhood are the *38th and Shadeland Area Plan*, 1986, the *Pendleton Pike Corridor Plan*, 1987, and the *Fort Harrison Reuse Plan*, 1995. The areas included in these plans are shown on Map 12. The land use plan included as a part of the *Far EastSide Neighborhood Plan* substantially conforms to the policies stated in these plans.

Land use plans make recommendations that address issues and concerns of residents and property owners in the neighborhood. The premise for developing a land use plan is the protection of health, safety, and welfare of residents and also the rights of property owners established in law.

Recommending land uses on a plan does not mean the land will automatically change to the recommended uses. Rather, the plan will serve as a guide for future development. When zoning variance and rezoning cases are being considered by the MDC, information from the land use plan will be used to substantiate the desirability of a use for a particular site.

Comprehensive Plan for Marion County-The Comprehensive Plan for Marion County serves as a very general guide for decisionmakers concerned with the physical development of the Indianapolis community. The Comprehensive Plan also provides an overall framework for more detailed physical development plans, such as the *Far EastSide Neighborhood Plan*. The *Far EastSide Neighborhood Plan* will supersede the Comprehensive Plan for Marion County and any other previous plans for the area. The policies identified in the Comprehensive Plan for portions of the Lawrence and Warren township that include the Far EastSide neighborhood are:

Lawrence Township Plan-

- I. Protect all wetland areas from filling or draining activities associated with site development or predevelopment.
- II. Increase industrial development opportunities along and near Pendleton Pike.
- III. Promote quality industrial and commercial along Pendleton Pike by applying the design standards and landscaping recommendations made in the Pendleton Pike Corridor Plan.
- IV. Incorporate the recommendations made in the 38th and Shadeland Subarea Plan and the Pendleton Pike Corridor Plan into the Lawrence Township Plan.
- V. Anticipate the ultimate closure of Fort Benjamin Harrison, and provide for the eventual amendment of this plan (Lawrence Township) by the adoption of the reuse plan for the fort area.
- VI. Provide open space and recreation opportunities in the 42nd and Post Road area to offset the high residential densities which predominate there.

VII. Preserve significant open space, and provide for the ultimate development of recreation along Fall Creek, Mud Creek, and Indian Creek to serve existing and future residents of northeastern Lawrence Township.

VIII. Regulate development in order to:

- a) Enable the school system to keep pace with the growing school-age population,
- b) Enable the transportation, sewer, and water service systems to meet future demands, and
- c) Allow the park system to meet future recreation needs.

Critical Areas-Some land use recommendations in the township plans were given special emphasis because of unique factors related to their location, unusual character, and significant development potential. The *Far EastSide Neighborhood Plan* has, in most cases followed the recommendations of the township plans for the critical areas.

The Lawrence Township Plan also mentions the following critical areas:

- The intersection of Pendleton Pike and German Church Road: This area includes a very wide range of recommended land uses. It must serve as a transition between the more intense commercial and industrial land uses to the north and west and the significantly less intense residential and park land uses to the south and east. The plan recommends that the higher intensity retail uses be concentrated on Pendleton Pike and that Indian Creek and any wetlands be protected from development.

- The property at the northeast corner of 38th Street and Franklin Road is recommended in the Lawrence Township Plan as a community park. There is a significant woodland on the south edge of the property. There is concern that the site might be developed in a manner incompatible with neighboring residential uses.

It should be noted that the *Far EastSide Neighborhood Plan* recommends Office Center as a secondary land use for this site instead of the Low Density Residential, as recommended in the township plan.

- The property that has since been developed as the Glick Nature Preserve was recommended for protection in the Lawrence Township Plan.

Warren Township Plan-

- I. Encourage recreational facilities development and aesthetic quality in the township by:
 - a) Further enhancing the public parks system and other open spaces in order to off-set the moderately high density of residential development,
 - b) Converting floodway and floodplain areas of major streams to linear parks, and
 - c) Investigating possible future uses of Buck Creek and Grassy Creek as water amenities.

II. Encourage a balance of industrial, commercial, and residential development and more specifically:

- a) Preserve the rural character of undeveloped land use in the eastern half of the township by reserving it for very low density residential use and open space,
- b) Reduce traffic impacts on suburban roadways by development of very low density residential subdivisions,
- c) Preserve the existing residential character of the northwest portion of the township,
- d) Cluster medium density residential uses near shopping areas to buffer higher intensity land uses from lower intensity land uses and foster pedestrian access to shopping areas,
- e) Preserve and revitalize the Shadeland Avenue industrial corridor, and
- f) Concentrate industrial development in and around areas already industrially zoned and served by infrastructure.

III. Commit to improved public services and facilities by:

- a) Encouraging high density residential apartment development near public transit routes and shopping areas,
- b) Maintaining and enhancing the quality of the public school system, and

- c) Decreasing levels of traffic congestion by road widening, new road construction, and controlled commercialization of arterial roads.

The Warren Township Plan also mentions the following critical area:

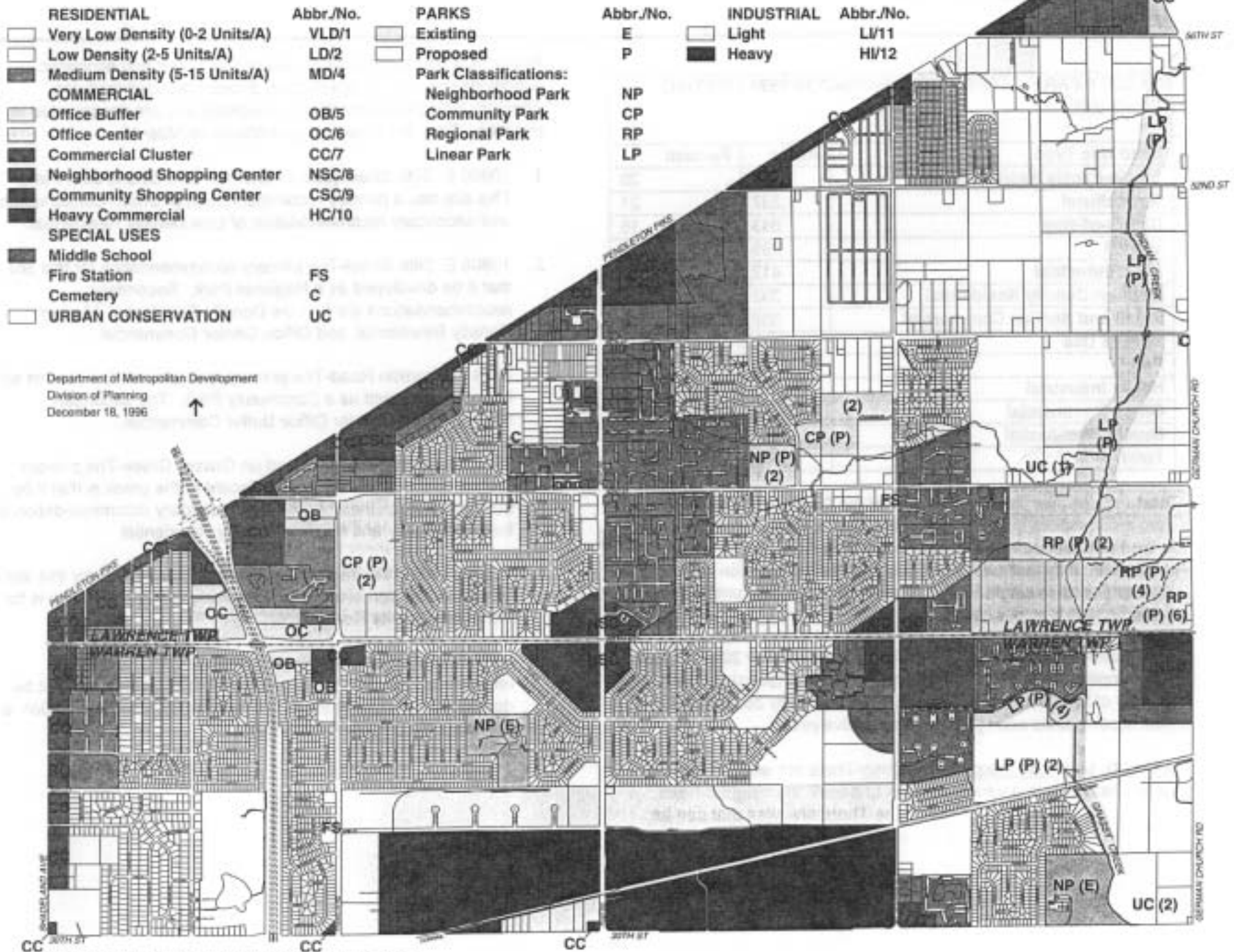
- The abandoned Conrail Railroad roadbed between Mitthoeffer Road and German Church Road was pointed out as a valuable resource. It is recommended for development as a linear park.

The land use plan included as a part of the *Far EastSide Neighborhood Plan* substantially conforms to the above policies. It should be noted that the Lawrence Township plan recommends industrial land use along and near Pendleton Pike. It is assumed that most of this development will occur north of Pendleton Pike, in and around areas already industrially zoned and served by infrastructure. Industrial uses currently located in the Far EastSide neighborhood are generally located in the industrial area north of 30th Street, between Franklin and German Church roads, with scattered sites on Pendleton Pike and Shadeland Avenue.

Potential Future Growth-The predominant land use in the Far EastSide neighborhood, as shown in Table 8, is single-family residential comprising 1,494 of the area's 5,787 total acres. Excluding street rights-of-way the next two leading categories are agricultural and vacant land, with 1,237 and 699 acres respectively. These two categories comprise 33 percent of the area's land use.

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 11: TOWNSHIP PLANS



Note: Alternate land use recommendations for areas are specified in parenthesis by abbreviation of the proposed land uses as listed above.

TABLE 8-FAR EASTSIDE NEIGHBORHOOD 1994 EXISTING LAND USE

Land Use Type	Acres	Percent
Single-Family Residential	1,494	26
Agricultural	1,237	21
Rights-of-Way	843	15
Vacant	699	12
Light Industrial	412	7
Medium-Density Residential	392	7
Retail and Service Commercial	369	6
Special Use	186	3
Park	130	2
Heavy Industrial	16	Less than 1
Office Commercial	5	Less than 1
Duplex Residential	4	Less than 1
Total	5,787	-

The land use plan included as a part of the *Far EastSide Neighborhood Plan* recommends that over half of the land available for development in the Far EastSide neighborhood be developed as single-family residential. If this plan is carried out, the area's population could increase by as much as 10,000 people with a housing unit increase of 4,000 units at total build-out.

Total build-out should not occur in this area for another 20 or 30 years. For comparison purposes, Lawrence and Warren townships (excluding the City of Lawrence) have averaged approximately 360 permits for new housing units each year for the past five years.

Alternate Land Use Recommendations-There are sites that can be used alternately in a variety of ways to benefit the neighborhood.

Business leaders and citizens realize that social and economic conditions may not always support a recommended land use. Alternate land uses need to be considered and are documented in this plan. They are shown in parenthesis on Map 15.

- 10800 E. 30th Street (east of German Church and 30th Park)- This site has a primary recommendation of Urban Conservation and secondary recommendation of Low Density Residential.
- 10500 E. 38th Street-The primary recommendation for this site is that it be developed as a Regional Park. Secondary recommendations are for Low Density Residential, Medium Density Residential, and Office Center Commercial.
- 3801 N. Franklin Road-The primary recommendation for this site is for development as a Community Park. The secondary recommendation is for Office Buffer Commercial.
- 3600 N. German Church Road on Grassy Creek-The primary recommendation for the area adjacent to the creek is that it be developed as a Linear Park. The secondary recommendation is for Low Density and Medium Density Residential.
- 10600 E. 42nd Street-The primary recommendation for this site is for Urban Conservation. The secondary recommendation is for Very Low Density Residential.
- Indian Creek from 42nd Street to 56th Street-The primary recommendation for the area adjacent to the creek is that it be developed as a Linear Park. The secondary recommendation is for Very Low Density Residential.

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 12: CRITICAL AREAS - OTHER PLANS

- 38TH AND SHADELAND AREA PLAN
- PENDLETON PIKE CORRIDOR PLAN
- CRITICAL AREAS - LAWRENCE AND WARREN COMPREHENSIVE TOWNSHIP PLANS

FORT HARRISON
STATE PARK
AND REUSE AREA

CRITICAL AREA 8,
LAWRENCE TOWNSHIP
COMPREHENSIVE PLAN

CRITICAL AREA 11,
LAWRENCE TOWNSHIP
COMPREHENSIVE PLAN

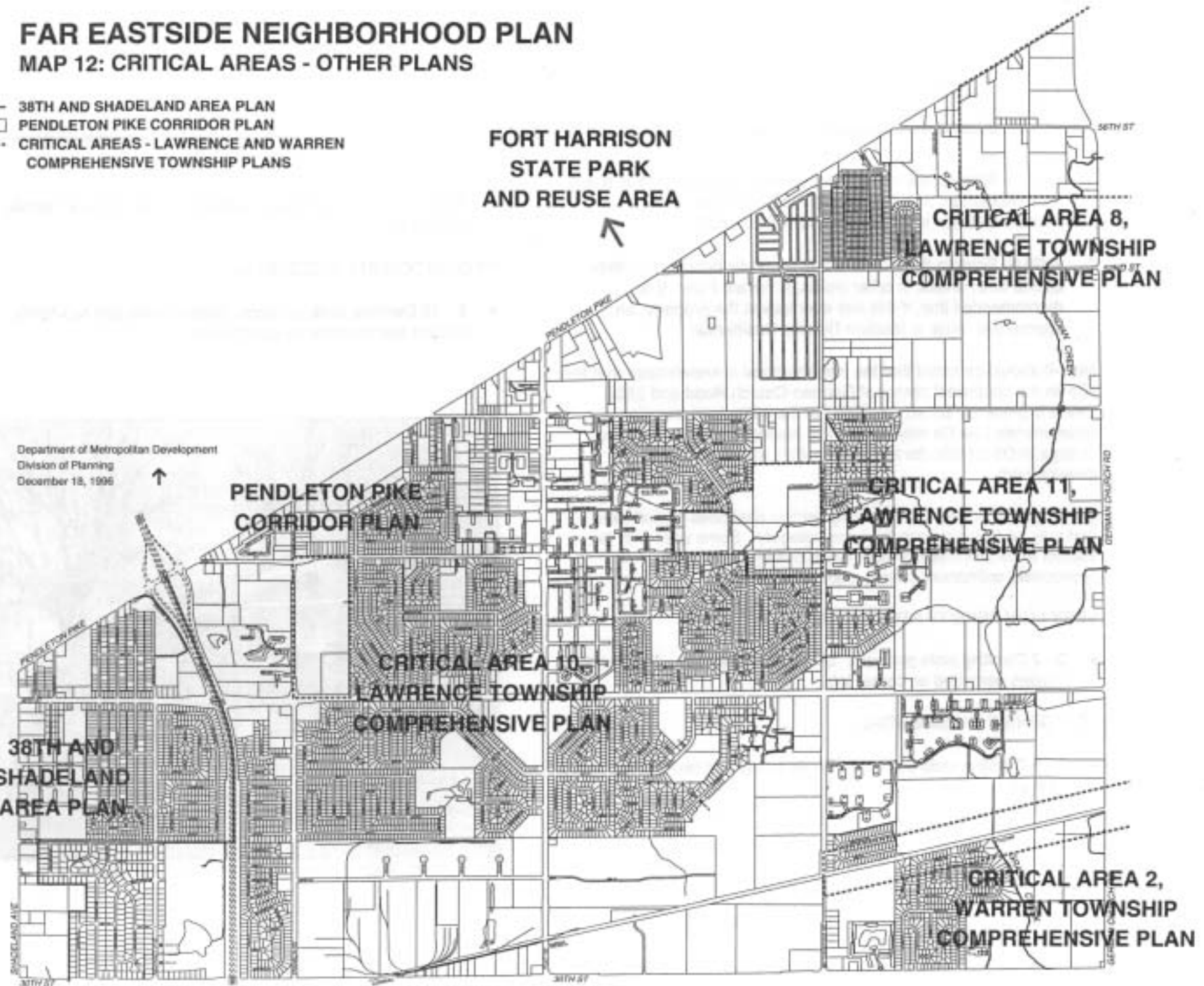
CRITICAL AREA 10,
LAWRENCE TOWNSHIP
COMPREHENSIVE PLAN

CRITICAL AREA 2,
WARREN TOWNSHIP
COMPREHENSIVE PLAN

PENDLETON PIKE
CORRIDOR PLAN

38TH AND
SHADELAND
AREA PLAN

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Land Use Plan

7. 9800 E. 42nd Street-The primary recommendation for this site is for development as a Community Park. The secondary recommendation is for Low Density Residential.
8. 4002 N. Franklin Road-This site is presently occupied by Indy Sports and Fitness, in other words, a Private Park. It is recommended that, if this use ever leaves the property, an appropriate reuse is Medium Density Residential.

Note-It should be noted that the neighborhood acknowledges that the site on the southwest corner of German Church Road and 38th Street is presently zoned C4. The Far EastSide land use plan recommends Low Density Residential development with a zoning change to D5 for this site to be compatible with surrounding development.

Land Use Definitions-The following section describes typical uses that may be found in each land use category. Some uses may be subject to certain restrictions or limitations by zoning. The appropriate ordinances should also be consulted.

VERY LOW DENSITY RESIDENTIAL

- 0 - 2 Dwelling units per acre. Single-family houses. Two-family houses permitted on corner lots.

LOW DENSITY RESIDENTIAL

- 2 - 5 Dwelling units per acre. Single-family and two-family houses.

MOBILE DWELLING

- A density of approximately 6 dwelling units per acre. Mobile home park.

MEDIUM DENSITY RESIDENTIAL

- 5 - 15 Dwelling units per acre. Single-family and two-family houses and multi-family apartments.



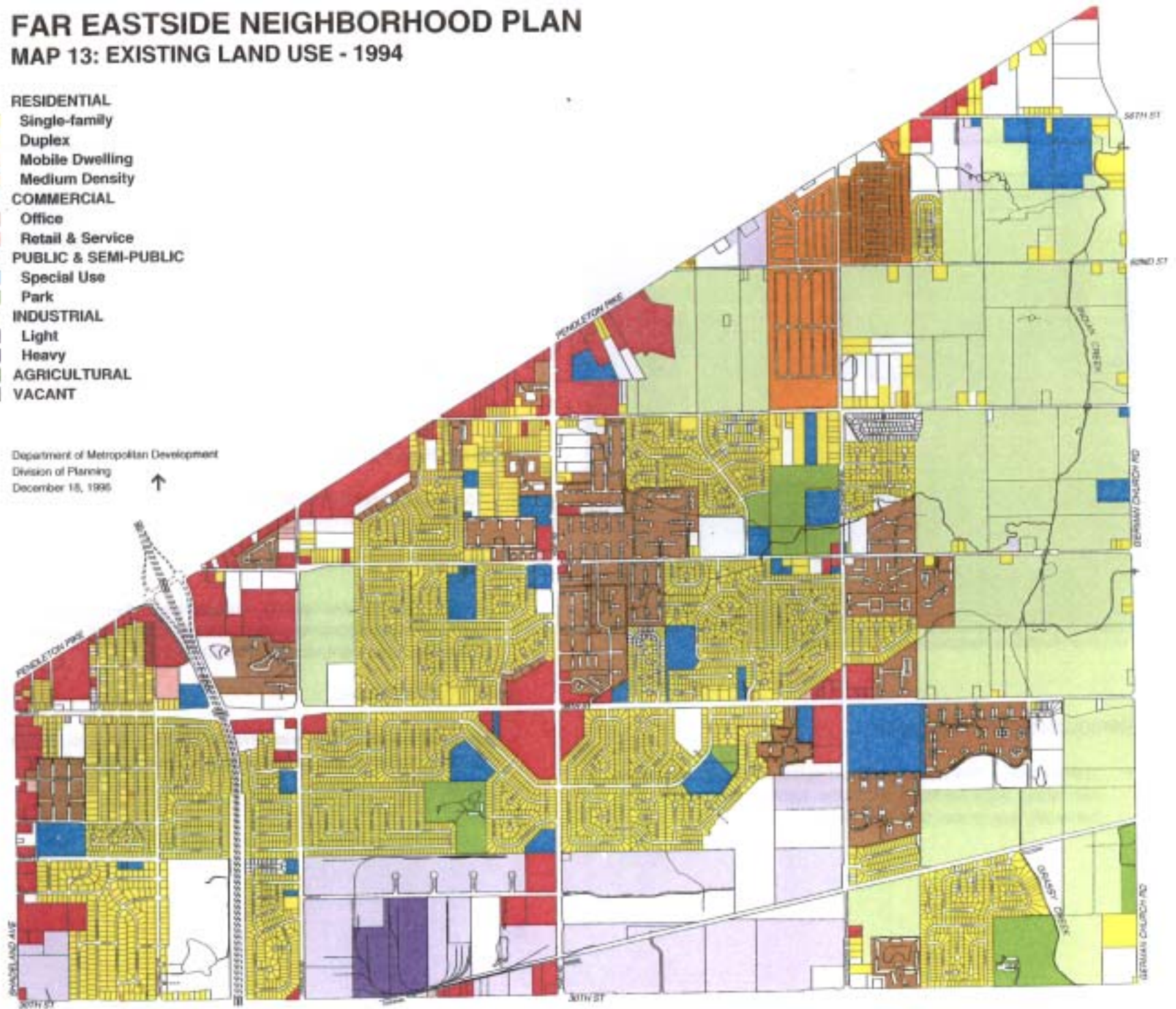
13 - Typical Single-Family Housing in the Far EastSide

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 13: EXISTING LAND USE - 1994

- RESIDENTIAL**
 - Single-family
 - Duplex
 - Mobile Dwelling
 - Medium Density
- COMMERCIAL**
 - Office
 - Retail & Service
- PUBLIC & SEMI-PUBLIC**
 - Special Use
 - Park
- INDUSTRIAL**
 - Light
 - Heavy
- AGRICULTURAL**
- VACANT**

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14 – Far EastSide Neighborhood Apartment Complex

OFFICE BUFFER COMMERCIAL

- Low intensity office uses such as medical services, insurance, real estate, legal services, and other similar office uses. Generally one or two story buildings.

OFFICE CENTER COMMERCIAL

- Office park type development that generally includes three or more buildings and an internal road system. Generally buildings with more than two stories.

COMMERCIAL CLUSTER

- “Strip-type” retail and service businesses oriented along roadways. See zoning plan for recommended zoning classification in order to ensure compatible intensity of commercial uses.

NEIGHBORHOOD SHOPPING CENTER

- Commercial center on one parcel that usually has a grocery store or drugstore as an anchor.

COMMUNITY SHOPPING CENTER

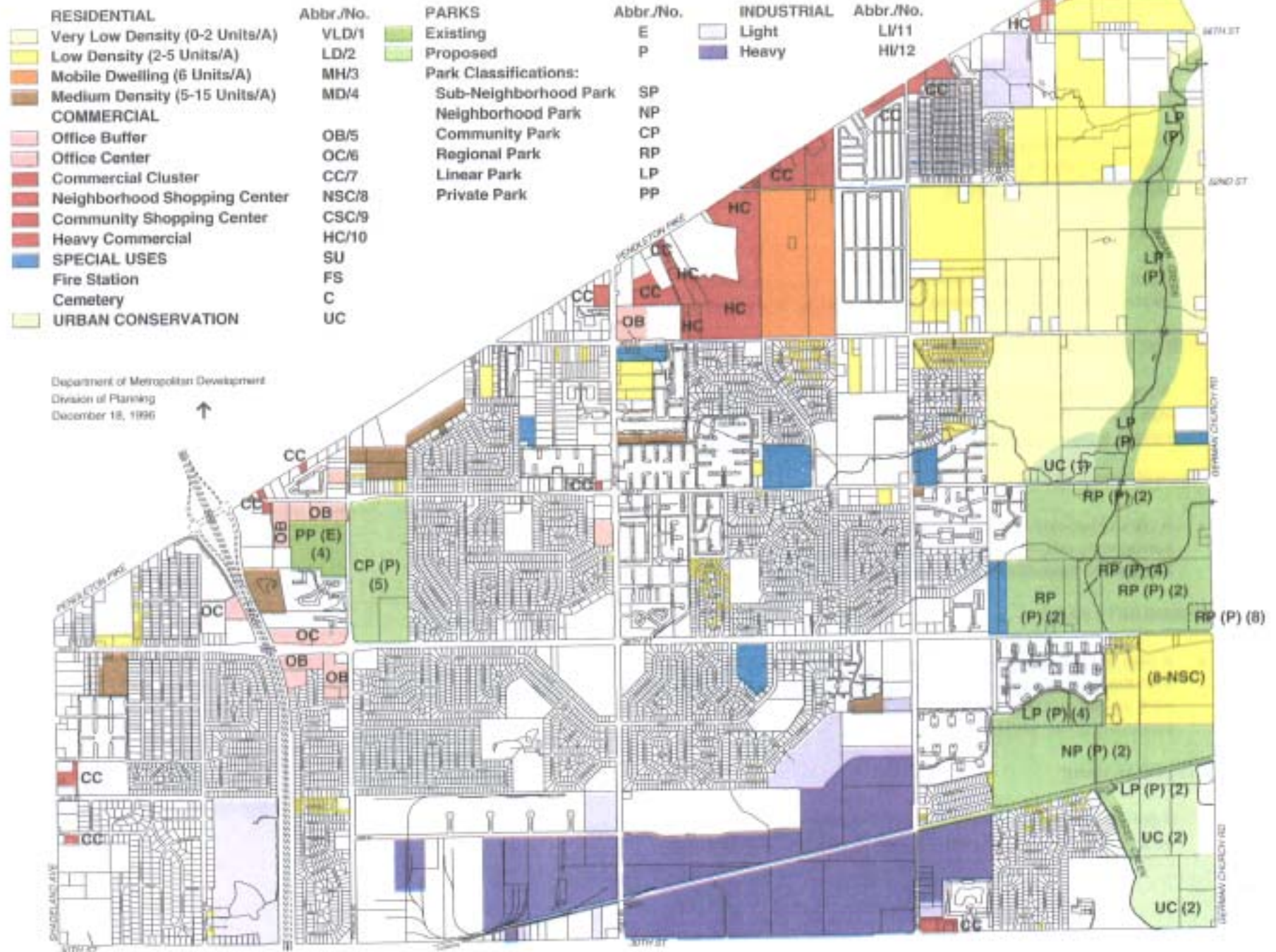
- A commercial center serving an area larger than just the surrounding neighborhood with a large supermarket, discount store, or department store as the anchor.

HEAVY COMMERCIAL

- Commercial uses with extensive outdoor storage and display, such as mobile home sales or sales of heavy construction equipment.

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 14: CHANGE IN LAND USE



SPECIAL USE

- Churches, schools, government property, power substations, switching stations, non-profit agencies, nursing homes, hospitals, union halls, and cemeteries.

URBAN CONSERVATION

- Land possessing special environmental or valuable natural characteristics, such as wetlands, woodlands, and aquifers.

SUB-NEIGHBORHOOD PARK

- A park of between 1/4 and 5 acres that usually serves a specific age group within the immediate neighborhood. Facilities may include a playground, sitting area, and multi-purpose game area.

NEIGHBORHOOD PARK

- A park of between 5 and 25 acres that serves the immediately surrounding neighborhood. A neighborhood park usually includes facilities for basketball, tennis, picnicking, and a playground.

COMMUNITY PARK

- A park of between 25 and 100 acres that serves an area larger than the immediately surrounding neighborhood. A community park usually includes facilities such as recreation centers, swimming pools, and picnic areas.

REGIONAL PARK

- A park of 100 acres or more that serve a population within a one hour driving distance. A regional park usually includes facilities

such as play areas, picnic areas, shelters, nature centers, and trails. They also usually include rivers, lakes, or other natural features to provide the park users a natural retreat from the urban environment.

LINEAR PARK

Public park trails that can be located on or parallel to floodways, streams, parkways, wooded areas, and abandoned railroad rights-of-way or other public easements.

PRIVATE PARK

- Privately owned recreational facilities, such as a softball complex or league baseball facilities.

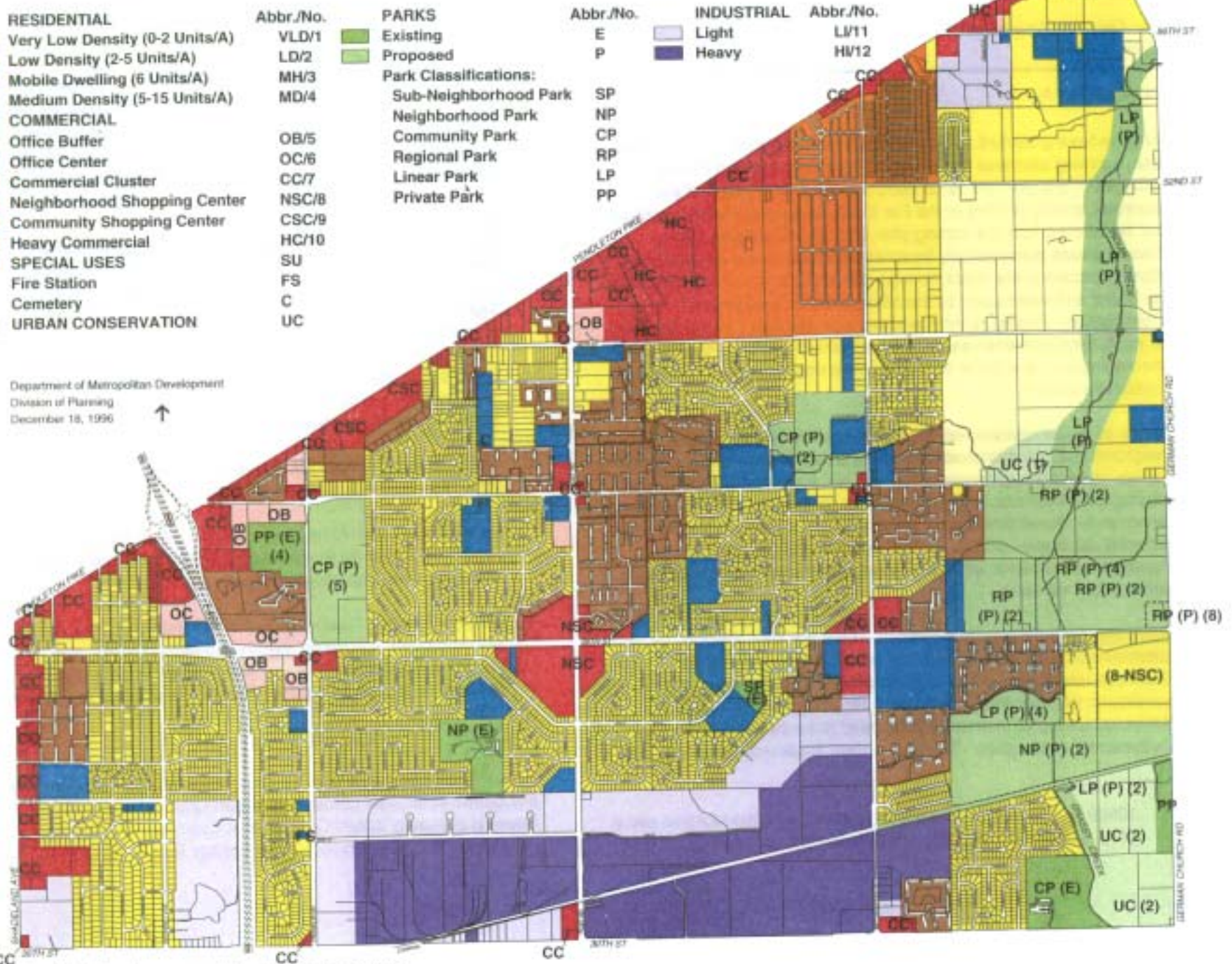
LIGHT INDUSTRIAL

- Industries that conduct their entire operations within completely enclosed buildings and do not have objectionable characteristics that extend beyond their property lines. Some examples are jewelry manufacturing and engraving, warehousing, construction companies, upholstering, paper box and paper products manufacturing from finished paper, and manufacturing of optical goods.

HEAVY INDUSTRIAL

- Industries that produce smoke, noise, and have outside storage. Because of their nature, they should be located away from residential areas. Some examples are motor truck terminals, concrete manufacturing, scrap metal reprocessing, and auto and truck component manufacturing.

MAP 15: LAND USE PLAN



Note: Alternate land use recommendations for areas are specified in

ZONING PLAN

After reviewing current zoning and recommendations for future land use, a zoning plan was developed. The recommended zoning changes in this plan are to be used only as an indication of the desirable zoning of sites in the Far EastSide neighborhood. It should not be inferred from the zoning plan that recommending zoning classifications automatically bestows new regulations on property. Zoning decisions are made through the petitioning process and must be heard and voted upon by the Metropolitan Development Commission. Zoning recommendations in this plan can not be used to justify land use when seeking development permits. Realistically, the zoning plan is a guide for incremental change, not a mandate for immediate action.

Some of the recommended zoning changes for the Far EastSide neighborhood are designed to properly designate various properties whose uses, although appropriate, are not supported by the proper zoning classifications. The other zoning recommendations provide direction for development on vacant land and areas in transition to a different use based on the recommendations of the land use plan. An effort was made to separate incompatible uses through buffering and transitional uses.

Alternate Zoning Recommendations-There are sites that can be used alternatively in a variety of ways to benefit the neighborhood. Business leaders and citizens realize that social and economic conditions may not always support a recommended land use. Alternate zoning recommendations need to be considered and are documented in this plan. They are shown in parenthesis on Map 17.

1. 10500 E. 38th Street-The primary recommendation for this site is PK1. Secondary recommendations are D3, D7, and C3.

2. 3801 N. Franklin Road-The primary recommendation for this site is PK1. The secondary recommendation is C1. If the site is not developed as a park, it is recommended that any significant natural features, such as trees or streams, be preserved, as much as possible.
3. 9600 E. 42nd Street-This site was originally recommended for a park, but this is no longer the case. The site has now been zoned to SU1 for a church. It is recommended that any significant natural features, such as trees or streams, be preserved, as much as possible.
4. 3600 N. German Church Road on Grassy Creek-The primary recommendation for the area adjacent to the creek is PK1. The secondary recommendation is DP and D6.
5. 10600 E. 42nd Street-The primary recommendation for this site is PK1. The secondary recommendation is SU7.
6. Indian Creek from 42nd Street to 56th Street-The primary recommendation for the area adjacent to the creek is PK1. The secondary recommendation is DP.
7. 4002 N. Franklin Road-This site is presently zoned SU16 to accommodate a privately owned recreation facility. It is recommended that, if this use ever leaves the property, the property is reused as Medium Density Residential and zoned D6II.

Note-It should be noted that the neighborhood acknowledges that the site on the southwest corner of German Church Road and 38th Street is presently zoned C4. The Far EastSide land use plan recommends a preference for Low Density Residential development

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 16: EXISTING ZONING - 1996

DA Dwelling Agriculture	SU1 Church
D3 Medium Density Single-Family	SU2 School
D4 Medium-High Density Single-Family	SU7 Charitable and Philanthropic
D5 Medium-High Density Single-Family	SU9 Government
D5II Two-Family	SU16 Private Amusement Park/Open to Public
D6 Low Density Multi-Family	SU34 Club Room, Fraternity & Lodge, Ballroom-Public
D6II Low Density Multi-Family	SU38 Community Center
D7 Medium Density Multi-Family	SU42 Gas Utility
D11 Mobile Dwelling	PK1 Park District One
DP Planned Unit Development	I1S Restricted Industrial Suburban
C1 Office Buffer	I2S Light Industrial Suburban
C2 High-Intensity Office-Apartment	I3S Medium Industrial Suburban
C3 Neighborhood Commercial	I4S Heavy Industrial Suburban
C4 Community-Regional Commercial	
C5 General Commercial	
C7 High Intensity Commercial	
CID Commercial-Industrial	
CS Special Commercial	

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Far EastSide Neighborhood Plan
Zoning Plan

with a zoning change to D5 for this site to be compatible with surrounding development.

Zoning Descriptions-The following section describes zoning districts recommended in the zoning plan.

Dwelling Districts:

- D1 -Low Density Single-Family. Permitted is single-family development only.
- D3 - Medium Density Single-Family. Permitted is single-family development. Two-family dwellings are permitted on corner lots only. Attachment to public or semi-public water and sanitary facilities is mandatory.
- D4 - Medium-High Density Single-Family. Permitted are the same uses as D3, but smaller lot and unit sizes are allowed.
- D5 - Medium-High Density Single-Family. Permitted are single and two-family dwellings. Attachment to public or semi-public water and sanitary facilities is mandatory.
- D5II - Two Family. Two-family dwellings are permitted on any lot.
- D6 - Low Density Multi-Family. Typical density is 6 to 9 dwellings per acre.
- D6II - Low Density Multi-Family. Typical density is 9 to 12 dwellings per acre.
- D7 - Medium Density Multi-Family. Typical density is 12 to 15 dwellings per acre.

- D11 - Mobile Dwelling. Intended for high density single-family use. Typical density is approximately 6 dwellings per acre.
- DP - Planned Unit Development. Creative site planning, variety in physical development, and imaginative uses of open space are objectives to be achieved. Residential uses are preferred in these areas.

Commercial Districts:

- C1 - Office Buffer. Exclusive office district.
- C2 - High-Intensity Office-Apartment. Permits C1 uses and multi-family dwellings subject to certain D8 Dwelling District standards.
- C3 - Neighborhood Commercial. Permits a range of indoor retail sales and personal, professional, and business services in a neighborhood. Most C1 uses are permitted plus gas stations and convenience markets are permitted with restrictions. Carry-out food establishments or restaurants are permitted, but does not permit outdoor seating.
- C4 - Community-Regional Commercial. Permits business groupings and regional shopping centers. Permits most C1 and C3 uses as well as department and discount department stores.
- C5 - General Commercial. Intended for commercial uses with outdoor operations on streets with heavier commercial traffic. Outdoor display is permitted for goods for sale, lease or rental only. Most C1 uses and all C3 and C4 uses are permitted.

FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 17: ZONING PLAN

- D1 Low Density Single-Family
- D3 Medium Density Single-Family
- D4 Medium-High Density Single-Family
- D5 Medium-High Density Single-Family
- D5II Two-Family
- D6 Low Density Multi-Family
- D6II Low Density Multi-Family
- D7 Medium Density Multi-Family
- D11 Mobile Dwelling
- DP Planned Unit Development
- C1 Office Buffer
- C2 High-Intensity Office-Apartment
- C3 Neighborhood Commercial
- C4 Community-Regional Commercial
- C5 General Commercial
- C7 High Intensity Commercial
- CID Commercial-Industrial
- CS Special Commercial

- SU1 Church
- SU2 School
- SU7 Charitable and Philanthropic
- SU9 Government
- SU10 Cemetery
- SU16 Private Amusement Park/Open to Public
- SU34 Club Room, Fraternity & Lodge, Ballroom-Public
- SU38 Community Center
- SU42 Gas Utility
- PK1 Park District One
- PK2 Park Perimeter - Special District Two
- I1S Restricted Industrial Suburban
- I2S Light Industrial Suburban
- I3S Medium Industrial Suburban
- I4S Heavy Industrial Suburban

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Note: Alternate zoning recommendations for areas are specified in parenthesis by abbreviation of the proposed zoning as listed above.

Far EastSide Neighborhood Plan
Zoning Plan

- C7 - High Intensity Commercial. Permits retail uses with significant amounts of outdoor storage (materials, equipment, and parking of trucks). Typically located away from residential districts on high volume highways. Permits most C1 uses and all C3, C4, C5, and C6 uses.
- CID - Commercial-Industrial. Characterized by uses not generally visited by customers and which are more compatible with industrial, rather than commercial activities. Permits outdoor storage of materials, equipment, and trucks.
- CS - Special Commercial. Permits a unique combination of uses, commercial and non-commercial, in a planned development. Intended to encourage greater creativity in land planning, superior site and structural design and development.

Special Use Districts:

- SU1 - Church.
- SU2 - School.
- SU7 - Charitable and Philanthropic Institutions.
- SU9 - Government. Buildings and grounds used by any local, state, or federal government.
- SU10 - Cemetery
- SU16 - Private Amusement Park and Open to the Public.
- SU34 - Club Room, Fraternity, Lodge, Public Ballroom
- SU38 - Community Center,

- SU42 - Gas Utility.

Park Districts:

- PK1 - Park District One. Permits all sizes and ranges of public park land and facilities.
- PK2 - Park Perimeter Special District. Assures that the area peripheral to public parks will be compatible and harmonious with park uses.

Industrial Districts:

- I1S - Restricted Industrial Suburban District. Light industrial that may serve as a buffer zone between residential or business districts and heavy industrial areas. Permits various industrial uses in a limited manner with strict controls on the land use. Operations are entirely enclosed and create no nuisance factor.
- I2S - Light Industrial Suburban. Light industrial that may serve as a buffer zone between residential and heavy industrial areas. Permits uses with no objectionable characteristics. Permits I1S uses and some I3S uses subject to I2S standards.
- I3S - Medium Industrial Suburban. Medium industrial that should be located away from residential areas. Permits I2S uses and some I4S uses subject to I3S standards.
- I4S - Heavy Industrial Suburban. Heavy industrial that should be removed as far as possible from residential areas. Sufficient buffering of objectionable characteristics should be provided to minimize any detrimental aspects. Permits I3S uses subject to I4S standards.

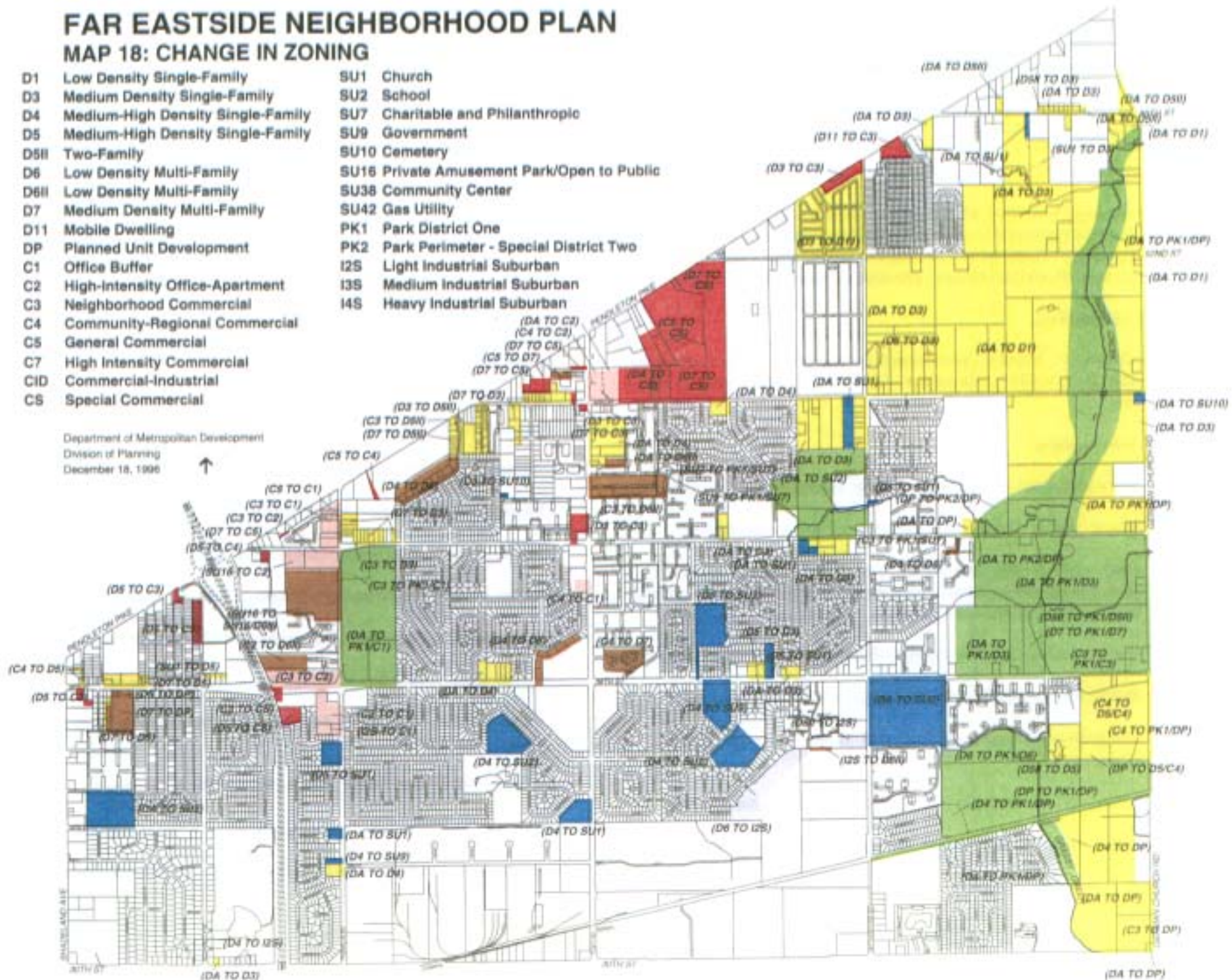
FAR EASTSIDE NEIGHBORHOOD PLAN

MAP 18: CHANGE IN ZONING

- D1 Low Density Single-Family
- D3 Medium Density Single-Family
- D4 Medium-High Density Single-Family
- D5 Medium-High Density Single-Family
- D5H Two-Family
- D6 Low Density Multi-Family
- D6H Low Density Multi-Family
- D7 Medium Density Multi-Family
- D11 Mobile Dwelling
- DP Planned Unit Development
- C1 Office Buffer
- C2 High-Intensity Office-Apartment
- C3 Neighborhood Commercial
- C4 Community-Regional Commercial
- C5 General Commercial
- C7 High Intensity Commercial
- CID Commercial-Industrial
- CS Special Commercial

- SU1 Church
- SU2 School
- SU7 Charitable and Philanthropic
- SU9 Government
- SU10 Cemetery
- SU16 Private Amusement Park/Open to Public
- SU38 Community Center
- SU42 Gas Utility
- PK1 Park District One
- PK2 Park Perimeter - Special District Two
- I2S Light Industrial Suburban
- I3S Medium Industrial Suburban
- I4S Heavy Industrial Suburban

Department of Metropolitan Development
Division of Planning
December 18, 1996



APPENDIX-POTENTIAL HISTORIC RESOURCES-

Resources according to the *Indiana Historic Sites and Structures Inventory* published in May 1993 (Warren Township) and March 1994 (Lawrence Township) by the Indiana Department of Natural Resources and the Historic Landmarks Foundation of Indiana:

Outstanding

Deel Farm, 10940 E. 42nd Street; Gable-front; c.1860; Outbuildings: barn (Demolished); Agriculture, Architecture (See Photo 7 on Page 24).

Contributing

Francke School, 10990 E. 30th Street; Italianate; c.1871; Architecture

House, 3308 N. Mitthoeffer; Bungalow; c. 1920; Architecture

Farm, 3310 N. Mitthoeffer Road; Bungalow/Craftsman; c.1920; Outbuildings: smokehouse, transverse-frame barn, garage, chicken houses; Agriculture, Architecture

Springer House, 3650 N. Franklin Road; T-plan; c.1890; Architecture

House, 7201 E. 38th Street; Bungalow; c.1927; Architecture

Dwight Mowrey House, 8928, E. 46th Street; Bungalow; c.1925; Architecture

House, 10143 Pendleton Pike; Bungalow; c.1920; Architecture

House, 10120 E. 52nd Street; Bungalow; c.1915; Architecture

House, 10042 E. 46th Street; Bungalow; c.1925; Architecture

House, 10404 E. 46th Street; English Cottage; c.1925; Architecture

Indian Creek Cemetery, E. 52nd Street; c.1830-1860; Exploration/Settlement

House, 5252 German Church Road; Bungalow; c.1920; Outbuildings: school/barn c.1880; Architecture, Education

Farm, 10420 E. 42nd Street; Bungalow; c.1920; Outbuildings: barn; Agriculture, Architecture

House, 4302 N. Franklin Road; Bungalow; c.1915; Architecture

House, 7605 Pendleton Pike; Bungalow; c.1925; Architecture

House, 9145 E. 46th Street; Bungalow; c.1930; Architecture

House, 4452 N. Post Road; Bungalow; c.1925; Architecture

House, 4440 N. Post Road; Bungalow; c.1925; Architecture

House, 8949 E. 46th Street; Bungalow; c.1927; Architecture

House, 8953 E. 46th Street; Bungalow; c.1924; (Emmett Roberts, builder); Architecture

House, 8807 E. 46th Street; Bungalow; c.1935; Architecture

House, 8761-63 E. 46th Street; Bungalow; c.1935; Architecture

House, 4541 N. Zoeller Street; Tudor Revival; c.1920; Architecture

Bower Farm, 8628 E. 42nd Street; Bungalow; c.1926; Outbuildings: barn (Demolished); Agriculture, Architecture

House, 8435 Pendleton Pike; T-plan; c.1900; Architecture

House, 8321 E. 42nd Street; Gable-front/Italianate; c.1880; Architecture

House, 7150 E. 38th Street; English Cottage; c.1925; Architecture

Notable:

Whiteside/Hamilton Farm, 10853 E. 52nd Street; Vernacular; c.1890; Outbuildings: English barn; Agriculture, Architecture

Bolander Farm, 10919 E. 56th Street; Bungalow; c.1930; Outbuildings: barns; Agriculture, Architecture

Wesley Chapel Cemetery, E. 46th Street; c.1840-1940; Exploration/Settlement

House, 8925 E. 46th Street; Bungalow; c.1915; Architecture

House, 8705 E. 46th Street; I-house/Greek Revival; c.1845; Architecture

Vines Cemetery, 4300 N. Clinton; c.1830-1893; Exploration/Settlement

Outstanding rating means the property has enough historic or architectural significance that it is already listed, or should be considered for individual listing, in the National Register of Historic Places. "Outstanding" resources can be of local, state, or national importance.

Contributing rating is given to any properties meeting the basic inventory criterion of being pre-1940, but that are not important enough to stand on their own as individually "outstanding" or "notable." Such resources are important to the density of continuity of the area's historic fabric. Contributing properties can be listed in the National Register of Historic Places if they are part of a historic district, but would not usually qualify individually.

Notable rating means that the property did not quite merit "outstanding" rating, but still is above average in its importance. Further research or investigation may reveal that the property could be eligible for National Register listing. The property may be eligible for the Indiana Register of Historic Sites and Structures.

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